



**AGENDA
MEETING OF THE PLANNING COMMISSION**

TUESDAY, JUNE 7, 2016

PUBLIC SESSION: 6:30 p.m.

CLOVERDALE PERFORMING ARTS CENTER, 209 N. CLOVERDALE BLVD., CLOVERDALE, CA 95425

The Cloverdale Planning Commission welcomes you to its meetings that are typically scheduled for the 1st Tuesday of the month. Your interest and participation are encouraged and appreciated. ***Please silence all pagers, cellular telephones and other communications devices upon entering the meeting.***

ADDRESSING THE PLANNING COMMISSION:

When asked to do so by the Chair, those wishing to address the Commission are asked to step up to the podium. Speak directly into the microphone so everyone in the audience can hear your comments and so they'll be recorded into the official record. State your name and City of Residence for the record. Per City Council Policy, three (3) minutes are typically allotted to each speaker. However, the Planning Commission Chair may revise the amount of time allotted. Public comments will normally be received after staff presentations on an agenda item and before the Commission starts deliberations.

We may disagree, but we will be respectful of one another.

All comments will be directed to the issue at hand, and addressed to the Planning Commission.

Personal attacks are unacceptable.

DISABLED OR SPECIAL NEEDS ACCOMMODATION: In compliance with the Americans with Disabilities Act, if you need assistance to attend or participate in a meeting, please contact the City Clerk's office at 894-2521. Notification at least 48-hours prior to the meeting will assist the City Clerk in assuring that reasonable accommodations are made to provide accessibility to the meeting.

WAIVER WARNING: If you challenge decisions/directions of the Planning Commission in court, you may be limited to raising only those issues you or someone else raised at public hearings(s) described in this Agenda, or in written correspondence delivered to the City of Cloverdale at, or prior to, the public hearing(s).

OPENING:

- Call To Order
- Pledge Of Allegiance
- Oath of Office: Swearing in of Commissioner Bob Bialon and Alternate Commissioner Jason Turner
- Roll Call
- Agenda Review (changes/deletions)
- Declaration of Conflicts of Interest

PUBLIC COMMENT PERIOD:

Under this item, citizens may speak on matters within the Planning Commission's jurisdiction, which are not on the agenda. The Planning Commission is prohibited under the Public Meeting Law from taking action on matters that are not on the agenda, however, the Commission may take citizen's input under advisement, direct staff to place the matter on a future agenda for discussion and/or possible action or refer matters to staff for follow-up.

CONSENT CALENDAR:

All items under Consent Calendar will be considered together by one action of the Planning Commission unless any Planning Commissioner or member of the public requests that an item be removed and considered separately.

1. **Minutes Review:** June 3, 2016- Moore

NON-PUBLIC HEARING ITEMS:

2. **Request to consider the Schellinger Brothers' application and by Resolution approve the requested Major Design Review (DR 041-2015), subject to the recommended conditions of approval**

Applicant: Schellinger Brothers
Property Owner: Jack and Charlotte Gale
Project Location: 699 S. Cloverdale Boulevard, Cloverdale (APN 116-180-004)
Zoning Designation: Multi-Family Residential (R-3)
General Plan Designation: High Density Residential (HDR)
Project Description: Major Design Review for a 21-unit multi-family housing project known as The Boulevard Apartments and the retention of an existing single-family residence
Environmental Assessment: Categorically Exempt under Section 15332 of the CEQA Guidelines – In-Fill Development Projects

Staff recommends that the Planning Commission consider the application and by Resolution No. 009-2016, approve the requested Major Design Review (DR 041-2015), subject to the recommended conditions of approval.

PUBLIC HEARING ITEMS: None

OTHER BUSINESS:

3. **Presentation by Thompson Development Inc. -Vista Oaks Planned Development Project**
4. **Possible cancellation and rescheduling of the July Cloverdale Planning Commission Meeting**
 - a. Consider cancellation of the regularly scheduled Planning Commission Meeting on July 5th.
 - b. Consider rescheduling the regular July Meeting of the Planning Commission to July 19th.

PLANNER'S REPORT/COMMUNICATIONS: The Planner's Report is a verbal report for informational purposes only.

PLANNING COMMISSION DIRECTION TO STAFF:

ADJOURNMENT: Adjourn to the next meeting Tuesday, July 5, 2016, at 6:30 p.m., or alternate date as requested, at the Cloverdale Performing Arts Center, 209 N. Cloverdale Blvd., Cloverdale, CA 95425.

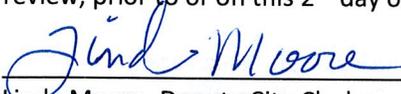
State of California

County of Sonoma

City of Cloverdale

CERTIFICATION

I, Linda Moore, do hereby declare under penalty of perjury that the foregoing agenda was posted on the outdoor bulletin board at the City Hall, 124 N. Cloverdale Blvd., Cloverdale, California, and made available for public review, prior to or on this 2nd day of June, 2016, at or before 5:00 p.m.



Linda Moore, Deputy City Clerk



**DRAFT MINUTES
MEETING OF THE PLANNING COMMISSION**

TUESDAY, MAY 3, 2016

PUBLIC SESSION: 6:30 p.m.

CLOVERDALE PERFORMING ARTS CENTER, 209 N. CLOVERDALE BLVD., CLOVERDALE, CA 95425

OPENING:

- Call to Order: Chair Shanahan called the meeting to order at 6:30 p.m.
- Pledge Of Allegiance
- Roll Call: Commissioner Halliday, Commissioner Enge, Commissioner Bialon, Vice Chair Domke, Chair Shanahan, Alternate Commissioner Bovee, Alternate Commissioner Turner were present.
- Agenda Review (changes/deletions): Assistant City Manager Kelley distributed two additional emails to the Commission that were received after the agenda packet was published, stating that Associate Planner Miranda would be discussing these correspondences latter in the meeting. The two documents are attached. Mr. Kelley also provided a memo from staff identifying some recommended changes in the conditions of approval (attached).
- Declaration of Conflicts of Interest: None

PUBLIC COMMENT PERIOD:

None

CONSENT CALENDAR:

1. **Minutes Review:** April 5, 2016

Action: Motion was made by Commissioner Halliday and seconded by Commissioner Enge to approve the consent calendar. The motion passed by roll call vote: (5 ayes – Commissioner Halliday, Vice Chair Domke, Commissioner Enge, Commissioner Bialon, and Chair Shanahan; 0-noes).

NON-PUBLIC HEARING ITEMS:

None

PUBLIC HEARING ITEMS:

2. **Approval of a Major Design Review, Plot Plan and Planned Sign Program application to construct a 15,655 square foot commercial building and related site improvements for a Grocery Outlet retail store**

Applicant: Best Development Group
Property Owner: Four R Investors LLC
Project Location: 111 Treadway Dr, Cloverdale (APN 117-040-083)
Zoning Designation: Service Commercial (S-C)

General Plan Designation:	Service Commercial (SC)
Project Description:	Major Design Review, Plot Plan and Planned Sign Program application (DR/PP/PSP 004-2016) for a Grocery Outlet store and related site improvements at 111 Treadway Drive
Environmental Assessment:	Categorically Exempt: Section 15332, CEQA Guidelines - In-Fill Development Projects; Exempt: Section 15183, CEQA Guidelines – projects consistent with the General Plan or zoning.

Associate Planner, Rafael Miranda, presented this item, discussing the history and details of this project. He reported that the Notice of Public Hearing was published in the Cloverdale Reveille and properly posted on April 21, 2016, and was also mailed to property owners within 300' of the proposed project on April 21, 2016. Mr. Miranda recommended the Planning Commission approve the Major Design Review, Plot Plan and Planned Sign Program application (DR/PP/PSP 004-2016) to allow construction of a Grocery Outlet store and related site improvements at 111 Treadway Drive, subject to the recommended conditions of approval as modified.

Assistant City Manager Kelley stated that staff is proposing four additional conditions of approval regarding maintenance and upkeep of the property and requested the Commission consider the additional proposed conditions of approval along with those listed in the Resolution. He added that staff is also requesting a revision to an existing condition (condition number 58 in the Resolution) to update the language to clarify the requirement for improvements to Hatteras Way.

Mr. Kelley introduced the three representatives present on behalf of the project applicant: Terry Johnson, from Best Property Group; Ashle Crocker, with Thomas Law Group; and Randy Reeves, with HMR Architects. Ms. Crocker addressed the Commission, thanking City staff for their excellent work. She commented that although they are in agreement with the proposed revised conditions of approval on Hatteras Way, she noted that they cannot build on someone else's right of way, adding that the City does not own the entire driveway; therefore, they will be committed to construction only within the portion of the City's right of way. She also requested the record reflect that the agreement on condition number 58 arose at the request of City staff and after numerous conversations and added expense to the applicant, an agreement was reached. Ms. Crocker further stated that the applicant requested reimbursement for fees associated with doing this improvement and were disappointed that the City would not offer reimbursement. She acknowledged all of the letters received in response to the Public Noticing, stating that all letters were reviewed. Ms. Crocker requested that the Commission approve the major design review and commented that this is a great project for the City of Cloverdale. She announced that the Architect and the Grocery Outlet team were also present to address any questions.

Roger Curtis, Vice President of Construction for Grocery Outlet, explained why Cloverdale is an ideal spot to establish a Grocery Outlet store, adding that their model is based on offering extreme values to the residence of every community they go into. Discussion ensued regarding the model of Grocery Outlet and the construction and operations of the local store.

Chair Shanahan opened the Public Hearing.

PUBLIC COMMENT PERIOD:

LaReva Myles, Cloverdale, commented that she supports having a Grocery Outlet store in Cloverdale and is in favor of more shopping choices in Cloverdale.

Receiving no further public comments, Chair Shanahan closed the Public Hearing.

The Commission discussed details of the design review elements. Terry Johnson, Developer from Best Properties, Randy Reeves, Project Manager from HMR Designers, and Assistant City Manager Kelley, responded to questions from the Commission regarding the design of the store, landscaping, and signage and parking flow. Commissioner Bialon expressed concern about stored excess cardboard. Vice Chair Domke suggested this concern be addressed as a condition. Commissioner Bialon recommended adding the verbiage "including bales of cardboard" under condition number two, which addresses maintaining the property free of litter and refuse.

Action: Motion was made by Commissioner Halliday and seconded by Vice Chair Domke to approve Resolution No 08-2016 of the City of Cloverdale Planning Commission, the Major Design Review, Plot Plan and Planned Sign Program application (DR/PP/PSP 004-2016) to allow construction of a Grocery Outlet store and related site improvements at 111 Treadway Drive, subject to the recommended conditions of approval, including the proposed four additional conditions, edit to add "including bales of cardboard", and revision to condition number 58. The motion passed by roll call vote (5 ayes – Commissioner Halliday, Vice Chair Domke, Commissioner Enge, Commissioner Bialon, and Chair Shanahan; 0-noes).

OTHER BUSINESS:

None

PLANNER'S REPORT/COMMUNICATIONS:

Assistant City Manager Kelley reported that he recently prepared and distributed a Community Development Status Report to provide an update on current planning projects, adding that this report will be provided on a regular basis going forward.

PLANNING COMMISSION DIRECTION TO STAFF:

None

ADJOURNMENT: Chair Shanahan adjourned the meeting at 7:47 p.m. to the next meeting Tuesday, June 7, 2016, at 6:30 p.m., or alternate date as requested, at the Cloverdale Performing Arts Center, 209 N. Cloverdale Blvd., Cloverdale, CA 95425.

Rafael Miranda

From: Ann Hathaway <annyretired@gmail.com>
Sent: Monday, May 02, 2016 7:21 AM
To: Rafael Miranda
Subject: Grocery Outlet, Best Development Group, Four R Investors LLC

To Whom It May Concern:

As a property owner, located close to the proposed Grocery Outlet, let me be very emphatic in saying----**Let them in**. Stop throwing stumbling blocks in front of them and let them build immediately and get the store open. My family lived in Cloverdale for over 40 years and I still own commercial property there. Notoriously, Cloverdale has been the MOST unfriendly town to businesses wanting to come in. For heaven's sake, give them your blessing and let them build. Their coming into Cloverdale will certainly improve your tax base and give residents another food store. For your information, there used to be 3 grocery stores in Cloverdale. Penny Fair, Clover Market and Goodman's. So any concern for allowing a second grocery store is totally unfounded. Cloverdale is not San Francisco, stop impeding progress and benefit for the residents under the guise of rules and regulation. Let them build!!!!!! And welcome them with open arms.

Thank you,

Ann Hathaway
Owner: 1215 S. Cloverdale Blvd.

Rafael Miranda

From: Louise Andersen <andersen@sonic.net>
Sent: Tuesday, May 03, 2016 2:28 PM
To: Rafael Miranda
Subject: new store

Just to advise you that the road behind the new proposed store is a private road. No commercial access. The location is 28515 So. Cloverdale Blvd.
Thank You Louise & Bob Andersen

Additional Conditions of Approval

1. Any and all graffiti shall be removed from the property within seven (7) days in accordance with Chapter 8.38 of the Cloverdale Municipal Code.
2. The property shall be maintained free of litter, refuse, and debris at all times. Trash and recycling shall not be allowed to accumulate and shall be removed on a regular basis.
3. The building and property shall be maintained and cleaned on a regular basis. Maintenance of the building shall ensure that lighting and signage is maintained in working condition and painting is in a well-kept condition. Cleaning shall include keeping all publicly used areas, including the parking lot and landscaping zones free of litter, trash, cigarette butts and debris.
4. The property and landscaped areas shall be properly maintained at all times to avoid overgrown, dead, dry, decayed or hazardous trees, and the buildup of excessive leaf matter, and other vegetation brush or weeds.

Revised Condition of Approval #58:

5. Hatteras Way shall be constructed per City Standard 204 (industrial/commercial street section) along the entire frontage of the parcel and include the full street improvements from the centerline of the street to the east and shall provide sufficient paving west of the centerline to provide for one travel lane in each direction as determined by the City Engineer



AGENDA ITEM No. 2
City of Cloverdale
Planning Commission
Staff Report

Meeting Date:	June 7, 2016
Applicant:	Schellinger Brothers
Property Owner:	Jack and Charlotte Gale
Project Location:	699 S. Cloverdale Boulevard, Cloverdale (APN 116-180-004)
Zoning Designation:	Multi-Family Residential (R-3)
General Plan Designation:	High Density Residential (HDR)
Project Description:	Major Design Review for a 21-unit multi-family housing project known as The Boulevard Apartments and the retention of an existing single-family residence
Environmental Assessment:	Categorically Exempt under Section 15332 of the CEQA Guidelines – In-Fill Development Projects

A. Staff Recommendation

That the Planning Commission consider the application and by Resolution No. 009-2016, approve the requested Major Design Review (DR 041-2015), subject to the recommended conditions of approval.

B. Background

Existing Conditions

The 1.41 acre property located at 699 S. Cloverdale Boulevard is generally flat with very little change in grade. The property is located on the west side of S. Cloverdale Boulevard near its intersection with Hillview Drive. The property is developed with an existing one-story single-family residence, a detached two-car garage and storage room situated towards the front of the property along S. Cloverdale Boulevard. The remainder of the property is largely undeveloped except for one storage shed located along the north property line. Most of the existing trees are scattered around the perimeter of the site with most being concentrated towards the front of the property. Adjacent uses are as follows:

- North: Single-family residences
- South: Single-family residence
- East: N. Cloverdale Blvd. / Patriot Gasoline gas station
- West: Single-family residences

Project/Site History

On November 4, 2015, the Planning Commission conducted Conceptual Design Review for the project and provided the applicant with the Commission’s tentative reaction to the general design concept of the proposed project. The Commission was generally supportive of the project and encouraged the applicant to submit plans for a formal staff review. The applicant submitted revised plans on March 10, 2016 and again on May 10, 2016; some of those revisions are described in italics below.

- Landscape plans were required to be submitted in accordance with the City’s Water Efficient Landscape Ordinance (WELO)(Municipal Code Section;

The applicant is also proposing to landscape the site with a variety of large trees (mostly deciduous), ornamental trees, shrubs and large grasses. The proposed species are consistent with the City's approved plant list and the proposed design coincides with the requirements of the City's adopted Water Efficient Landscape Ordinance (WELo). Landscaping has been located around the perimeter of the site, within the proximity of the single-family residence and main project entrance. The number, density and type of proposed landscaping as well as the large street setback would soften, screen and buffer the proposed buildings helping them to blend with the existing character of the neighbor and adjacent uses. Existing trees as well as those proposed in and around the parking areas, along the buildings perimeters and in the open space areas would provide relief from the sun during the hot summer afternoons.

- Staff requested that a carport be added to the uncovered parking space adjacent to the ADA carport at the rear of the property so that if all five units in building type B are occupied by non-handicapped tenants, five covered spaces are located in close proximity to the building;

The site plan has not yet been revised but a condition of approval has been added requiring that prior to issuance of a Building Permit, the site plan shall be revised to show that the uncovered parking space next to the ADA carport at the rear of the property is covered.

- Staff requested that longer roof overhangs and/or the inclusion of awnings be incorporated into all elevations, where feasible, to help limit unwanted solar gain in accordance with the Residential Design Guidelines;

The submitted landscaping plan shows that a significant portion of the buildings perimeter would be planted with deciduous trees such as holly oaks and evergreen trees such as fern pines, providing a substantial amount of shading to the buildings. Some of the large existing oak trees would provide some additional shading to the buildings as well.

C. Project Description

The applicant is proposing a 21-unit multi-family apartment complex plus the retention of an existing single-family residence for a managers unit on a 1.41 acre property located at 699 S. Cloverdale Boulevard (see **Attachment 4** for the plan set). The apartments would all be two bedroom, two bath units located in three separate buildings. Amenities proposed include approximately 2,700 sf of public open space area distributed throughout the development with a children's play area, dog run, picnic areas, and common laundry room. A total of 65 parking spaces are proposed for residents and visitors, consisting of 22 carports, 41 uncovered spaces and one two-car garage at the single-family residence. The entrances to the carports located perpendicular to the main entrance driveway creates four possible future points of circulation connectivity and shared emergency vehicle access with the adjacent properties to the north and south of 699 S. Cloverdale Blvd.

D. Analysis

General Plan

The property is designated High Density Residential (HDR) on the City's General Plan Land Use Map. This designation provides for apartments or condominiums and is intended for areas that have services such as shopping, employment or transportation available within a reasonable walking distance.

The maximum number of dwelling units per net acre (density) allowed in the HDR land use designation is 16 dwelling units (du)/net acre. The proposed project is on a 1.41 acre property; which allows a maximum of 22 units to be constructed on the site.

The following are some of the goals and policies of the City's adopted General Plan applicable to new development:

- Policy CE 1-2 encourages the planning of street alignments and building setbacks necessary to handle anticipated future growth and traffic requirements in advance of development.
- Policy CDO 6-3 requires the retention of large or otherwise significant trees in residential, non-residential and open areas by revising development plans that would remove significant trees so that those trees are saved.
- Policy CE 3-3 seeks to provide shade trees along pedestrian routes and encourages alternative roadway configurations that would preserve shade trees where street widening would otherwise remove substantial shade trees.
- Goal LU 7 encourages jobs and housing nexus, providing housing for workers employed in Cloverdale, in order to reduce commuting, to support local businesses, schools, and activities by providing a base of residents who both live and work in Cloverdale.
- Policy CDO 3-6 encourages medium and higher density housing be attached and provide common parking and open spaces.
- Policy LU 1-3 encourages jobs/housing balance, (defined as a 1:1 jobs to housing ratio) by encouraging new business in the City, by encouraging housing production for local employees, and by targeting a portion of City housing funds to provide housing for essential employees who live and work in the City.
- Policy CE 3-2 seeks to provide continuous sidewalks or pedestrian ways along all streets and to maintain sidewalks in good condition.
- Policy LU 4-1 seeks to maintain and improve the design of the built environment with attractive highways frontages, well designed streetscapes and sidewalks.
- Goal LU 6 requires new development to be coordinated with the provision of infrastructure and public services.

The proposed project would provide the City with additional housing options for workers employed in Cloverdale and the unique design proposed for installation of curb, gutter and sidewalk preserves some existing mature oak and olive trees located along the S. Cloverdale Boulevard street frontage. The project is designed in a manner that would provide an opportunity for future growth of the property to the south at 701 S. Cloverdale Boulevard with possible internal street alignments and shared emergency vehicle access. Additionally, the project can be adequately served by existing services and utilities.

Based upon this information and the application materials, as proposed, the project is consistent with the goals, policies and implementation measures of the General Plan.

Zoning

The site is zoned Multi-Family Residential (R-3) on the City’s Zoning Map. The main purpose of the R-3 Zoning District is to provide high density condominiums and apartments and is intended for areas that are close to services, and within a reasonable walking distance from transportation, shopping or employment. Zoning adjacent to the site is as follows:

- North: Single-Family Residential (R-1)
- South: Multi-Family Residential (R-3)
- East: Multi-Family Residential (R-3) – Patriot Gasoline gas station
- West: Single-Family Residential (R-1)

The proposed apartments would be located less than one block away from an existing shopping center containing a pharmacy, hardware store, restaurant, health club and Sonoma County Transit bus stop (see **Attachment 1** for a location map). Additional services and shopping are located a little more than ½ mile down S. Cloverdale Boulevard at the Furber Ranch Plaza shopping center.

The proposed 21 apartments are considered a multi-family residential use under the City’s adopted Zoning Ordinance. According to Table 18.04.040-A, multi-family attached or detached uses are permitted in the R-3 Zoning District. However, under Section 18.03.150 of the Zoning Ordinance, the project is subject to Major Design Review by the Planning Commission as it involves substantial changes and additions to a previously developed site and a residential project consisting of two or more units per site.

The projects proposed Floor Area Ratio (FAR), setbacks, building height, density and areas dedicated to public and private open space are consistent with the applicable Residential Site Development Standards of the R-3 Zoning District (Table 18.04.050-A), as summarized below:

Table 18.04.050-A Residential Site Development Standards				
		R-3 District Standard	Proposed	Compliance?
	Density (maximum units per acre)	16.0	15.6	Yes
	Front Setback	20’	39	Yes
	Side Setback	5’ for 1 st floor of a 2 story residence; 10’ for 2 nd floor of a 2 story residence	10’ 10’	Yes* Yes*
	Rear Setback	20’	21’	Yes
	Floor Area Ratio	0.40	0.35	Yes
	Building Height	35’ or 2 stories	26’ 4”	Yes
	Distance Between Buildings	10’	28	Yes
	Public Open Space per Unit	100 sf	130 sf (2,738 sf total)	Yes
	Private Open Space per Unit	60 sf	Unit A = 137 sf Unit B = 74 sf Unit C = 83 sf	Yes

*Zoning Ordinance Section 18.04.050.B.1 allows porches and balconies to project into any required side yard area so as to not cover more than one-half of said required side yard.

Outdoor Lighting

The applicant has not determined what types of lights would be utilized throughout the project; however the applicant has expressed their willingness to abide by the City’s outdoor lighting standards (Section 18.09.050). Should the project be approved, staff would work with the applicant through the Building Permit process to ensure compliance with the outdoor lighting standards. To reflect this

approach, staff has included a condition of approval requiring the applicant to submit manufacturer specification sheets for all outdoor lighting fixtures prior to issuance of a Building Permit for the project.

Major Design Review

Major Design Review is intended to promote high-quality design and well-built and maintained buildings, landscaping and public amenities in order to further the relationship between the appearance of buildings and structures. As stated above, Major Design Review is required for applications involving substantial changes and additions to a previously developed site.

The proposed project consists of three separate two-story buildings clad with a combination of vertical and horizontal siding and composite roofing. The proposed architectural style and finishes are visually harmonious with and are generally in keeping with the residences in the Ioli Ranch subdivision two properties to the south which are comprised of a neutral, dark roof and neutral lighter body color. The height of the buildings are 26' 4" and two stories, also similar to the homes within the Ioli Ranch subdivision. The proposed design provides a transition to the central part of Cloverdale by retaining the existing one-story single-family residence along the front of the property and preserving the rural country road appearance of this portion of Cloverdale Boulevard. This transition is assisted by locating the new apartment units behind the existing residence. Required private open space has been provided for each unit by incorporating porches, decks and patios on the front and rear elevations of the building. Parking areas have been located proximate to main entries, to the rear of the existing single-family residence, and have been buffered by fencing and landscaping in compliance with Zoning Ordinance Section 18.11.130 (Landscaping for Off-Street Parking Facilities).

In addition to the Residential Design Standards listed in Zoning Ordinance Section 18.10.050, the project is also subject to the City's adopted Residential Development Design Guidelines. The provisions of the Residential Development Design Guidelines are applicable to all residential development within the City. The project has been designed in general compliance with the Residential Design Standards and the Residential Development Design Guidelines with the following exceptions as described below:

Chapter 18.10 Design Standards Table 18.10.030-A Neighborhood Boulevard Design Standards	Response
b. The design model for Cloverdale Boulevard is a tree-lined street where walking and bicycling is encouraged, and pavement for automobile uses is minimized, consistent with General Plan policies.	A majority of the existing olive and oak trees along Cloverdale Boulevard would be preserved. Although an unconventional alignment of curb gutter and sidewalk would be utilized to preserve some street trees, four trees would be removed along the street frontage (see Sheet 3 of Attachment 5).
e. Parking between Cloverdale Boulevard and the front of the building is not allowed.	A two-car garage is currently located behind the single-family residence, and the existing driveways are connected in the front yard. This existing driveway configuration provides parking between the front of the residence and Cloverdale Boulevard. As proposed, one uncovered parking space would be located in this area between the existing single-family residence and Cloverdale Boulevard. This space

	would be located behind a solid fence and screened from view from Cloverdale Boulevard. Although the parking space would be located between the existing residence and Cloverdale Boulevard, it could be counted as a required parking space through use of the Nonconforming Uses regulations of Zoning Ordinance Section 18.02.090 because of the design and location of existing driveways and established parking configuration for the single-family residence.
Residential Design Guidelines: Section E Multi-Family Site Planning 1. Orientation	Response
a. Building orientation should be optimized for heat gain, shading, daylighting and natural ventilation.	The shape of the property being much longer than it is wide limits the site design and orientation of the buildings and parking areas. The buildings are oriented so that most of the units are facing north or south, with only the end units located above the carports facing east and west.
b. Provide shading on east, west and south walls with overhangs, awnings or deciduous trees.	Covered patios and awnings are proposed on the north and south elevations of the buildings. As many of the existing trees would be preserved as possible. Building and paving placement has been designed to limit impacts to existing trees where feasible. The applicant has worked closely with the project arborist to develop a site plan that would have minimal impacts on the trees being preserved. An arborist report including a tree evaluation and tree protection notes (see Attachment 7) has been submitted and will be incorporated into the conditions of approval.
f. Project entry areas provide the resident and visitor with an overview of the project. They should provide an open window with landscaping, recreational facilities and project directories. Special attention should be given to hardscape and landscape treatments to enhance the overall project image.	A manager's unit/office would be located within the existing single-family residence at the front of the property, alongside the main entry to further assist visitors and residents. Many of the existing trees towards the front and along the perimeter of the property would be preserved to the extent feasible. Landscaped areas and fencing would provide a visual screen and buffer for the project from Cloverdale Boulevard and

	neighboring properties. Prior to installing a sign for the project, the applicant would be required to submit plans for an Administrative Sign Permit as required by the conditions of approval.
g. Parking lots should be internalized behind buildings and oriented away from street frontage. Large undivided parking lots and long parking drives are discouraged. See Zoning Ordinance Chapter 18.09 for parking lot landscape requirements.	Property dimensions limit the design possibilities for not only the buildings but the parking areas as well. However, parking areas have been oriented away from the street with a majority of the uncovered parking located along the south side of the property and a majority of the covered parking located between the buildings. The design of the parking areas allows for sufficient planting space to provide landscaping and more than one shade tree for every five parking spaces. The submitted landscaping plan has been found to be in compliance with the City's Water Efficient Landscape Ordinance (Municipal Code Chapter 15.30).
h. All new development shall provide street trees parallel to streets in planter strips, in sidewalk, or at back of sidewalks, spaced at regular intervals along the street.	A majority of the existing olive and oak trees along Cloverdale Boulevard would be preserved. Although an unconventional alignment of curb gutter and sidewalk would be utilized to preserve some street trees, four trees would be removed along the street frontage.
k. Light-colored and/or reflective surface coatings should be considered to reduce the "heat island" effect of traditional asphalt parking lots.	Paved surfaces have been limited to the extent feasible. Where paving is proposed, a mix of lighter shaded coatings are utilized to not only reduce the heat island effect but as a way a traffic calming method to motorists entering or exiting the property.
Section F. Multi-family Building Design	Response
2. Roof forms and roof lines should be broken into a series of smaller building components when viewed from the street. Long, linear unbroken rooflines that exceed 50 feet are discouraged.	The 21 apartment units have been broken up into three separate buildings located behind the existing single-family residence; two type A buildings and one type B building. The south and north building elevations of Building type A are approximately 140' long, while the south and north elevations of Building type B are approximately 85' long. Visual relief from the

	long facade of the elevations is provided by building setbacks and projections, incorporating ground floor porches and patios, second floor decks, covered entries, breaks and variation in the roofline at the separate units.
5. Pedestrian-scale lighting (less than 12' in height) should be incorporated in outdoor areas. Lighting should be compatible and integrated into building and landscape design. Lighting shall be designed, directed and shielded in such a manner than direct light does not leave the perimeter of the site and the nighttime sky is preserved. Timing mechanisms and photo cells are encouraged to be used to reduce light levels and conserve energy during non-operational hours. Also see Zoning Ordinance Chapter 18.08.	According to the applicant, lighting details have yet to been decided upon. As a result, a condition of approval requiring the applicant to submit manufacturer specification sheets for all outdoor lighting fixtures prior to issuance of a Building Permit for the project so that conformance with Zoning Ordinance Section 18.09.050 (Outdoor Lighting) can be confirmed.
6. All mechanical equipment, whether mounted on the roof or ground, must be screened from view. Utility meters and equipment must be placed in locations which are not exposed to view from the street or they must be suitably screened. All screening devices are to be compatible with the architecture and color the adjacent structures.	Mechanical equipment is not shown on the preliminary plans. However, the applicant has indicated that the units would be located within porches or screened by fencing and would not be visible from any abutting lot, street or right-of-way. Additionally, a condition of approval has been included require screening of ground or roof-mounted mechanical equipment.

Parking

According to Table 18.11.050-A of the Zoning Ordinance, apartments and multi-family residences containing units with two or more bedrooms are required to provide 1 covered parking space per unit and 2 unrestricted shared spaces per unit. A single-family residence requires 2 parking spaces, 1 of which must be covered. As a result, the proposed 21 apartment units and the existing single-family residence will require a total of 65 off-street parking spaces. To fulfill this requirement, the applicants are proposing 65 off-street parking spaces including 22 carport (covered) spaces, 41 uncovered spaces and 1 two-car garage).

Although this proposal meets the parking requirements, staff has added a condition of approval requiring the site plan to be revised prior to Building Permit Issuance providing covered parking for the one uncovered parking space adjacent to the two covered handicapped parking spaces at the rear of the site. The inclusion of this condition ensures that five covered non-handicapped parking spaces would be located in close proximity to the five units located in building type B at the rear of the property.

As proposed, the applicant’s off-street parking design complies with the covered parking requirement as well as the unrestricted shared spaces per unit requirement. With the proposed 65 off-street parking spaces being located outside of all required setbacks, the project is in conformance with the off-street parking requirement of the Zoning Ordinance.

Landscaping

Many of the existing oak and olive trees located throughout the property and along the street frontage are proposed to be preserved. Tree protection measures for the protection and preservation of significant oak trees located on neighboring properties have been incorporated into the site design and have been included in the recommended conditions of approval for the project.

The applicant is proposing to landscape the site with a variety of large trees (mostly deciduous), ornamental trees, shrubs and large grasses. The proposed species are consistent with the City's approved plant list and the proposed design coincides with the requirements of the City's adopted Water Efficient Landscape Ordinance (WELO). Landscaping has been located throughout the project, including around the perimeter of the site, within the proximity of the single-family residence and main project entrance. The location and type of proposed landscaping together with the existing olive and oak trees and the preservation of the single-family residence would help to screen and buffer the proposed apartment buildings, helping them to blend with the existing character of the neighbor and adjacent uses. Existing trees as well as those proposed in and around the parking areas, along the buildings perimeters and in the open space areas would provide relief from the sun during the hot summer afternoons.

Chapter 18.13 Inclusionary Housing and Density Bonuses

Although Section 18.13.030 states that Chapter 18.13 of the Zoning Ordinance (Inclusionary Housing and Density Bonuses) applies to all housing developments in the City, recent case law has found that Inclusionary Housing Ordinances are not applicable to rental property. In 2009, the *Palmer/Sixth Street Properties v. City of Los Angeles*, the Second District Court of Appeal held that an ordinance requiring developers to set aside rental units for inclusionary housing violated the state's Costa-Hawkins Act, the rent "de-control" law that allows landlords to set initial rents.

Since the Palmer decision, the state legislature has periodically tried to give back to cities some of the tools that Palmer took away, including a 2013 Assembly Bill (AB 1229) that would have overturned the Palmer decision, but was ultimately vetoed by the Governor. As a result, the City's Inclusionary Housing Ordinance is currently not applicable to the project.

Compatibility with Adjacent Uses

Although the properties to the south and across the street to the east are zoned R-3 (Multi-Family Residential), surrounding uses to the project site include single-family residences to the north, south, and west, as well as a gas station and car wash across S. Cloverdale Blvd. street to the east. The proposed architectural style and finishes are visually harmonious and compatible with the two-story residences in the Ioli Ranch subdivision two properties to the south. The height of the buildings are 26' 4" and two stories, which are also similar to the homes within the Ioli Ranch subdivision. The proposed design also preserves the rural country road appearance of this portion of Cloverdale Boulevard by retaining as many of the existing street trees as possible along with the single-family residence at the front of the site.

In an effort to maintain privacy and to provide a buffer from the project, staff has included a condition of approval requiring the applicants to construct an eight (8) foot tall fence along a portion of the northern property line, in the area of the existing single-family residence located at 679 S. Cloverdale Boulevard.

Based upon the information contained in the application materials, as proposed, staff concludes that the project would be compatible with surrounding uses and in conformance with all applicable standards and requirements of the Zoning Ordinance.

Public Notice

A public hearing notice is not required for Major Design Review, according to Table 18.03.100 of the Zoning Ordinance. However, notice of the Planning Commission meeting, including this item, was published in the Cloverdale Reveille on May 26, 2016.

Environmental Review

Article 19 (Categorical Exemptions) of the California Environmental Quality Act (CEQA) Guidelines includes a list of classes of projects which have been determined not to have a significant effect on the environment and are therefore exempt from the provisions of CEQA. Based upon the information contained in the application materials, the project qualifies for a Class 32 (Section 15332 – In-Fill Development Projects) CEQA exemption.

The project involves the construction of a multi-family housing project and the retention of an existing single-family residence. The project is consistent with all applicable General Plan and Zoning Ordinance policies and designations, providing high density housing in close proximity to services such as transportation, shopping and employment, and providing local employees with additional housing options. The subject property is approximately 1.41 acres, located within the City limits and surrounded by urban uses such as single-family residences to the north, south, and west as well as a gas station and car wash across the street to the east. The site is not identified in the Environmental Assessment Biological Survey performed in conjunction with the 2009 General Plan as having sensitive features including habitat for endangered, rare or threatened species. The project is consistent with the Multi-Family Residential (R-3) Zoning District and would not require additional utilities, services or improvements beyond that which is currently available. The project is not anticipated to exceed the level of service standards or allowable noise levels of the General Plan, or result in air or water quality impacts in excess of a typical residential development of a similar nature.

Based upon this information, and the information contained in the application materials, staff concludes the project would not have a significant effect on the environment. Therefore, an environmental document has not been prepared for the project, and on the basis of the application materials that have been submitted, the application has been determined to be categorically exempt under Section 15332 of the CEQA Guidelines – In-Fill Development Projects. Based on the application materials and the location of the project, staff has also determined that there are no unusual circumstances related to the proposed project and none of the exceptions in CEQA Guidelines section 15300.2 would limit the above referenced categorical exemption for the project.

E. Staff Recommendation

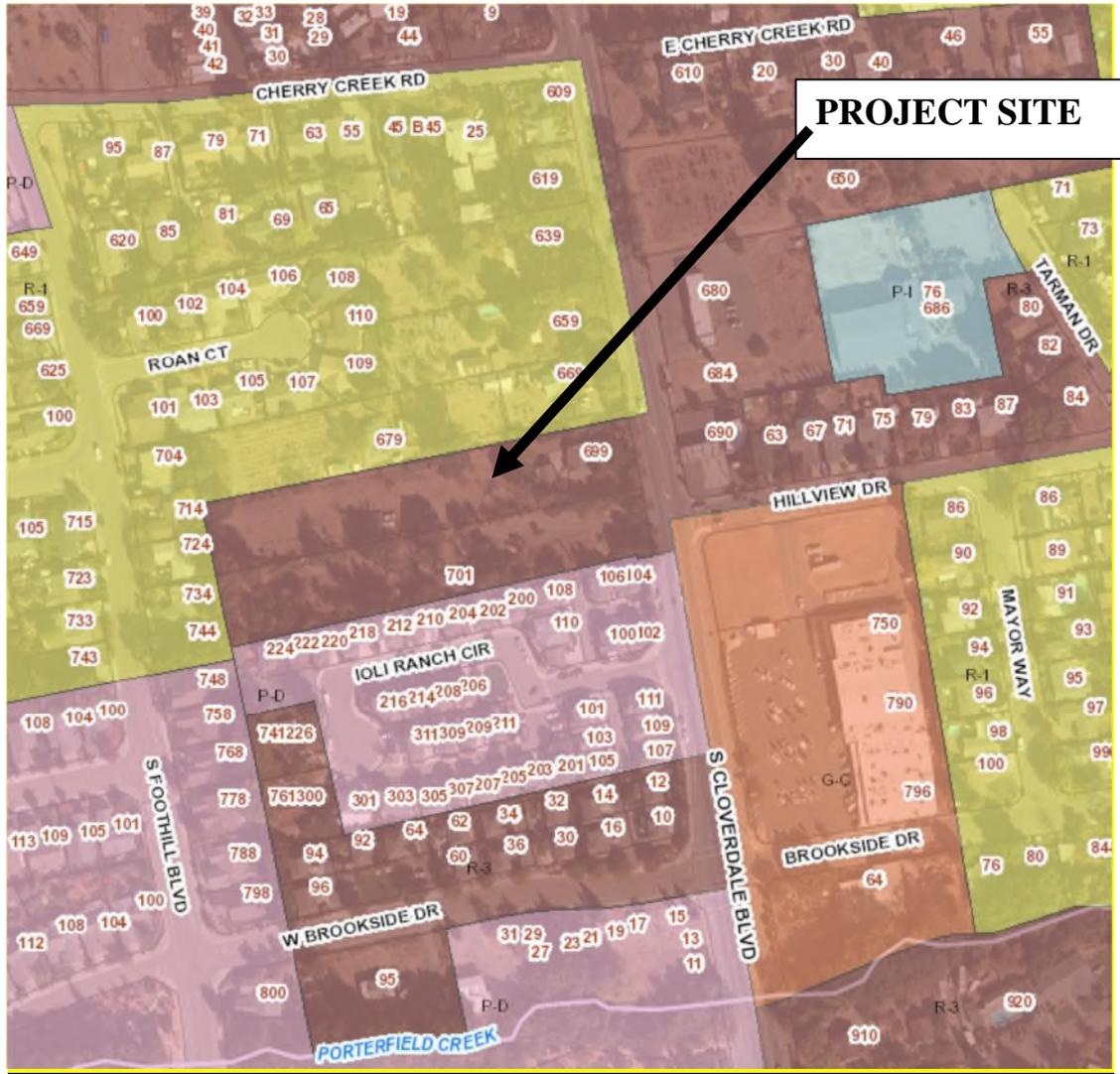
Staff recommends the Planning Commission approve the Major Design Review application (DR 041-2015) for a 21-unit multi-family housing project known as The Boulevard Apartments and the retention of an existing single-family residence and related site improvements at 699 S. Cloverdale Boulevard, subject to the recommended conditions of approval.

Attachments

1. Location map/City zoning map
2. Draft resolution
3. Site photos
4. Architectural plan set including color rendering (date stamped May 10, 2016)
5. Improvement plan set (date stamped May 5, 2016)
6. Landscaping plan set (date stamped May 5, 2016)
7. Arborist report and tree protection notes (date stamped May 10, 2016)

ATTACHMENT 1

Location Map/City Zoning Map
699 S. Cloverdale Boulevard



X:\Community Development\Applications\2015\DR 041-2015 The Boulevard Apartments - 699 S. Cloverdale Blvd - Schellinger Bros\PC SR The Boulevard Apartments DR 041-2015.doc

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ATTACHMENT 2

**CITY OF CLOVERDALE
PLANNING COMMISSION
RESOLUTION NO. 009-2016**

A RESOLUTION OF THE CITY OF CLOVERDALE PLANNING COMMISSION APPROVING A MAJOR DESIGN REVIEW (DR 041-2015) FOR CONSTRUCTION OF A 21-UNIT MULTI-FAMILY HOUSING PROJECT KNOWN AS THE BOULEVARD APARTMENTS AND THE RETENTION OF AN EXISTING SINGLE-FAMILY RESIDENCE AND RELATED SITE IMPROVEMENTS AT 699 S. CLOVERDALE BOULEVARD (APN 116-180-004)

WHEREAS, an application for a Major Design Review was submitted by the applicant, Schellinger Brothers, on behalf of the property owners Jack and Charlotte Gale, for construction of a 21-unit multi-family housing project known as The Boulevard Apartments and the retention of an existing single-family residence and related site improvements at 699 S. Cloverdale Boulevard; and

WHEREAS, the site is designated High Density Residential (HDR) on the City's adopted General Plan Land Use Map and the proposal is consistent with the HDR land use designation of the General Plan which provides for apartments or condominiums and is intended for areas that have services such as shopping, employment or transportation available within a reasonable walking distance; and

WHEREAS, the project would facilitate growth on existing infill lands, provide for jobs-housing balance, be adequately served by existing utilities and services, provide for new public improvements including sidewalks, and would not result in noise levels that exceed the thresholds established in the General Plan and therefore has been determined to be consistent with the goals, policies and implementation measures of the General Plan; and

WHEREAS, the site is located in the Multi-Family Residential (R-3) Zoning District on the City's adopted Zoning Map and Multiple Family Attached or Detached uses are permitted in the R-3 Zoning District; and

WHEREAS, per Section 18.03.150.C.3 of the Zoning Ordinance, residential projects consisting of two or more residential units per site or applications involving substantial changes or additions to a previously site are subject to Major Design Review procedures; and

WHEREAS, the project has been reviewed against the City's adopted Residential Development Design Guidelines, Cloverdale Boulevard Design Standards and the Residential Design Standards (Chapter 18.10 of the Zoning Ordinance), and has been determined to be consistent with those requirements; and

WHEREAS, the Planning Commission considered the request and a related staff report on June 7, 2016 for the purpose of reviewing the proposed Major Design Review

application and considered all written and verbal communication, including the staff report dated June 7, 2016; and

WHEREAS, the applicant and members of the public were present to speak on the application; and

WHEREAS, based upon the information presented in the application materials, the Planning Commission finds that this project qualifies for a categorical exemption under California Environmental Quality Act (CEQA) Guidelines Section 15332 – Infill Development Projects. All necessary public services and facilities are available to serve the project; the surrounding area is not environmentally sensitive; the project site is less than five acres and is located within the city limits; the site has no value as habitat for endangered, rare or threatened species; approval of the project would not result in significant impacts relating to traffic, noise, air quality or water quality; and the project is consistent with both the General Plan and Zoning Ordinance; and

WHEREAS, the Planning Commission has determined that the findings for Major Design Review required by Section 18.03.150 of the Zoning Ordinance have been met. Based on the application information and the information contained in the staff report, the following findings have been made:

1. The proposal is consistent with the General Plan, any applicable specific plan and the provisions of this Title, including but not limited to Development Standards and Design Review Standards for the Zoning District in which the property is located, and with the Design Guidelines for the City of Cloverdale and/or Design Guidelines for the area in which the project is located.

The project is consistent with applicable General Plan policies and would provide the City with additional housing options for workers employed in Cloverdale. The conditions of approval would require the installation of curb, gutter and sidewalk while preserving some existing mature oak and olive trees located along the S. Cloverdale Boulevard street frontage. The project is designed in a manner that would provide an opportunity for future growth on the property to the south at 701 S. Cloverdale Boulevard with possible internal street alignments and shared emergency vehicle access. Additionally, the project can be adequately served by existing services and utilities.

Additionally, the proposed improvements are in conformance with all applicable development standards of the Zoning Ordinance, including parking, setbacks, F.A.R., height, public and private open space for the R-3 Zoning District and Residential Design Standards, as well as the Residential Development Design Guidelines for the City, which call for proper location of building placement and screening of parking areas, landscaping and setbacks. There is no applicable specific plan.

Based upon this information and the application materials, as proposed, the project would be consistent with the goals, policies and implementation measures

of the General Plan, the development standards of the Zoning Ordinance and the Residential Design Guidelines.

2. The proposal will not be detrimental to the health, safety, comfort and general welfare of the persons residing or working in the neighborhood of the proposed project.

The project is not anticipated to result in noise levels that exceed the General Plan and conditions of approval ensure that mechanical equipment such as air conditioning units would be properly screened from view from adjacent properties and public right-of-way. Based upon the information contained in the application materials the project is determined to substantially meet the site development standards of the R-3 Zoning District as set forth in Table 18.04.050-A. The project is also subject to the requirements of the California Building Code and Fire Code to ensure the public health, safety and welfare. Finally, the building permit process and conditions of approval further ensure that the use would not be detrimental to the public health, safety or welfare.

3. The general appearance of the proposal is in keeping with the character of the neighborhood.

The proposed improvements meet the Residential Design Standards of the Zoning Ordinance and Residential Design Guidelines, are compatible with the Multi-Family Residential Zoning District, and are in keeping with the character of the neighborhood.

The proposed architectural style and finishes are visually harmonious and compatible with the two-story residences in the Ioli Ranch subdivision two properties to the south. The height of the buildings are 26' 4" and two stories, also similar to the homes within the Ioli Ranch subdivision. The proposed design also preserves the rural country road appearance of this portion of Cloverdale Boulevard by retaining as many of the existing street trees as possible along with the single-family residence at the front of the site. The proposed landscape areas will serve to screen and buffer the parking spaces from the public street and sidewalk.

In an effort to maintain privacy and to provide a buffer from the project, a condition of approval would require the applicants to construct an eight (8) foot tall fence along a portion of the northern property line, in the area of the existing single-family residence located at 679 S. Cloverdale Boulevard

Based upon the information contained in the application materials, as proposed, staff concludes that the project would be compatible with surrounding uses and in conformance with all applicable standards and requirements of the Zoning Ordinance.

NOW, THEREFORE BE IT RESOLVED the above recitals are true and correct and incorporated herein by reference; and

NOW, THEREFORE BE IT FURTHER RESOLVED that based on the above findings, the Planning Commission of the City of Cloverdale does hereby grant a Major Design Review permit (DR 041-2015) for construction of a 21-unit multi-family housing project known as The Boulevard Apartments and the retention of an existing single-family residence and related site improvements at 699 S. Cloverdale Boulevard, subject to the conditions of approval listed below:

**CONDITIONS OF APPROVAL
THE BOULEVARD APARTMENTS MAJOR DESIGN REVIEW
699 S. CLOVERDALE BOULEVARD**

Planning:

1. Major Design Review (DR 041-2015) approval is granted for construction of a 21-unit multi-family housing project known as The Boulevard Apartments and the retention of an existing single-family residence and related site improvements at 699 S. Cloverdale Boulevard, Cloverdale, CA as summarized above and shown in the architectural plan set date stamped May 10, 2016, the improvement plan set date stamped May 5, 2016 and the landscaping plan set date stamped May 5, 2016. The applicant shall adhere to the Major Design Review (DR 041-2015) application materials and the conditions of approval. Minor modifications to the approved plans and/or Conditions of Approval require Community Development Department approval. More significant modifications to the approved plans and/or Conditions of Approval require Planning Commission approval.
2. This approval is subject to appeal within 10 consecutive days from the date of approval.
3. The applicant shall print all of these Conditions of Approval on the building plan set prior to issuance of the Building Permit.
4. All conditions of this Major Design Review (DR 041-2015) are necessary to protect the general health, safety and welfare, and to minimize or eliminate adverse environmental effects of the project. If any condition of this permit is held to be invalid by a court, then the entire permit shall be invalid. The Planning Commission specifically declares that it would not have issued this permit unless all of the conditions herein are held as valid.
5. This Major Design Review (DR 041-2015) shall expire, and become null and void, two years from the date of approval unless exercised through the issuance of a building permit, or a written request for an extension of time is submitted to the Community Development Department prior to the expiration date and an extension is granted by

the Community Development Director in compliance with Zoning Ordinance Section 18.03.020.I (Expiration of Approvals and Extensions of Time).

6. The approval of this permit shall be subject to the latest adopted Ordinances, Resolutions, Policies and fees of the City of Cloverdale. The applicant shall be responsible for any and all costs associated with any required special inspections necessary for the project.
7. Prior to issuance of a Building Permit, the site plan shall be revised to show that the uncovered parking space next to the ADA carport at the rear of the property is covered.
8. Prior to issuance of a Certificate of Occupancy, an eight (8) foot tall fence shall be constructed along a portion of the northern property line, in the area of the existing single-family residence located at 679 S. Cloverdale Boulevard. All other portions of the side and rear yard fencing shall be seven (7) feet tall, and front yard (within 20 feet of the front property line) fencing shall not exceed three (3) feet in height. Fencing materials above six feet in height may consist of solid wood, lattice or another decorative fencing pattern.

Landscaping

9. The applicant or landowner shall maintain the landscaping, all signs, buildings, lighting, and grounds of the property in good condition and in conformity with the conditions of approval, at all times. Once a deterioration of the quality of such items is noted and documented by the City and/or property owner/on-site manager, the items shall be replaced to the satisfaction of the Community Development Department.
10. Landscaping and irrigation shall meet the requirements of the City's Water Efficient Landscape Ordinance and shall be installed prior to issuance of Certificate of Occupancy.
11. The property and landscaped areas shall be properly maintained at all times to avoid overgrown, dead, dry, decayed or hazardous trees and the buildup of excessive leaf matter and other vegetation, brush or weeds.

Trees

12. Where pruning for clearance is required on any trees to remain, it should be done by trained, qualified tree workers according to ISA & ANSI A300 Pruning Guidelines, prior to construction. Pruning shall be the minimum necessary for hazard reduction, (i.e. the removal of deadwood 2" and larger, etc.) and for clearance.
13. Plastic tree protection fencing shall be installed at the outer edge of the dripline of groups of trees and individual trees to be preserved within the zone of construction activity.

14. If access within dripline will be required, a fence shall be placed at expected limit of grading. Fencing shall be installed prior to the start of clearing and/or grading operations, and maintained in place throughout construction activities.
15. If any roots larger than 1" on trees to be preserved are encountered during construction activities which cannot be retained, they shall be cut cleanly across the face of the root with a sharp saw, past any damaged portions.
16. No parking, operation of equipment, storage of materials, disposal of waste or other construction activity shall occur within driplines of protected trees.
17. If any issues arise during construction relating to trees, the project arborist shall be notified to visit site and/or provide recommendations.
18. Where paving and/or parking spaces are to be located within the driplines of trees to be preserved, compact parking spaces (16 feet in length) shall be constructed utilizing reinforced concrete or permeable pavers at grade.

Sign

19. Prior to installing a sign for the project, the applicant shall submit an application and plans to the Community Development Department for an Administrative Sign Permit. The sign shall be not be lighted and the maximum area shall be six (6) square feet with a maximum height of four (4) feet.

Design

20. Mechanical equipment such as air conditioning units shall be screened from view from adjacent properties and the public right-of-way in accordance with Section 18.10.060 of the Zoning Ordinance.
21. The trash enclosure shall be placed on a concrete pad and have a concrete apron with a minimum depth of 4 inches. Adequate drainage shall be provided around the pad area. The percent of grade for access to the pad shall not exceed 3%. All refuse containers shall be screened with a six-foot high (minimum) enclosure of solid masonry or concrete tilt-up with an exterior finish compatible to the main structure. Gates shall be solid, heavy-gauge metal or of a heavy-gauge metal frame with a covering of wood or other suitable, opaque material. Gates shall be secured with sturdy hinges or sliders and latches. The perimeter of the recycling and trash enclosure shall be planted where practical with drought-resistant landscaping, including a combination of shrubs and/or climbing vines.
22. Light colored and/or reflective surface coatings should be considered to reduce the 'heat island' effect of traditional asphalt parking lots.
23. All aisles, approach lanes, and maneuvering areas shall be clearly marked with directional arrows to simplify vehicular movement per Section 18.11.090.C.1 of the Zoning Ordinance. In addition to directional arrows, the Planning Director may require installation of signs to ensure safe and efficient vehicular movement.

24. Designated walkways for pedestrian access shall be clearly marked with materials distinguished from driving surfaces such as pavers, bricks, scored concrete or similar materials within parking areas per Section 18.11.100.2 of the Zoning Ordinance.

Lighting

25. Prior to issuance of a Building Permit, manufacturer specification sheets for all outdoor lighting fixtures shall be submitted to the Planning Department for review and approval. All outdoor lighting fixtures shall comply with the requirements of Section 18.09.050 and shall be installed prior to issuance of Certificate of Occupancy. All building mounted, parking lot and site lighting shall be designed, located, installed, aimed downward or toward structures, shielded and maintained in order to prevent glare, light trespass and light pollution. Parking lot pole lights shall be limited to a maximum height of 15 feet in accordance with Section 18.09.050.C.5.

Construction

26. If prehistoric archaeological remains such as bone, shell, worked stone objects, or human graves are unearthed during project related activities, work in the immediate vicinity of the finds shall halt until a qualified prehistoric archaeologist has evaluated the situation and made recommendations for mitigation to the resource. If human remains are encountered the Sonoma County Coroner must be notified immediately.
27. In the event that construction activities unearth materials classified as having archaeological significance, such work shall be halted and the materials assessed for their archaeological value by a qualified archaeologist. If these materials are indeed classified as being archaeologically or historically sensitive, a mitigation program shall be developed for Planning Commission review and approval by the applicant, which is designed to protect and conserve these resources.
28. If historic-period materials such as stone or adobe foundations or walls, structural remains with square nails, backfilled privies or wells, or refuse deposits are encountered, work in the immediate vicinity of the finds shall halt until a qualified historical archaeologist has evaluated the situation and made recommendations for treatment of the resource.
29. If archaeological remains or resources are unearthed during construction or at any time in the future, all construction activity and work shall stop immediately and the applicant shall immediately notify the Cloverdale Rancheria of Pomo Indians of California, currently located at 555 South Cloverdale Boulevard, Cloverdale, California.

Building:

30. All new construction and/or building modifications shall meet the applicable building and fire safety codes in effect at the time of building permit application. The 2013 edition of California Title 24, as adopted and amended by the City of Cloverdale, is currently in effect through December 31, 2016. Please be advised that the 2016 edition will become effective starting January 1, 2017.

31. The applicant shall submit construction documents for plan review as part of the required building permit application process. A Building Permit shall be obtained prior to construction and all work shall be inspected and approved prior to issuance of Certificate of Occupancy. The applicant shall include all conditions of approval on the building plans that are submitted to the Building Department.
32. The City of Cloverdale has adopted CALGreen Tier 1 compliance which requires exceeding the minimum energy Code compliance margin by 15 percent. One or more elective measures must be chosen from each Division of the CALGreen Code for Tier 1 compliance (such as electrical vehicle charging station(s) per Division 5.1). The applicant shall identify the Tier 1 compliance methodology on the plans and on checklists acceptable to the Building Department.
33. A design level soils report prepared by a California licensed Geotechnical Engineer is required per CBC 1803. The Geotechnical Engineer of Record shall provide a letter of review stating that the project construction documents are in conformance with the report recommendations. The Geotechnical Engineer of Record shall also provide construction observation for conformance to the report recommendations.

Public Works/Engineering:

34. The applicant shall submit to the City for review and approval improvement plans prepared by a registered Civil Engineer and shall post sufficient surety guaranteeing the construction of the public improvements and on-site grading. Any necessary right-of-way required to complete the improvements will be acquired by the applicant at their expense. The improvements shall include driveways, sewer laterals, water services, drainage, grading, striping, signing, paving, landscaping and any other necessary improvements in accordance with City of Cloverdale Standard Improvement Details/Caltrans Standards.
35. All improvement plans must be completed to the City's satisfaction prior to commencement of any construction activity.
36. The applicant shall submit to the City of Cloverdale for review and approval, evidence that all private onsite water, sewer and storm drain facilities will be regularly and properly maintained in perpetuity.
37. If any of the improvements which the applicant is required to construct or install are to be constructed or installed upon land to which the applicant does not have title or interest sufficient for such purposes, the applicant shall do all of the following at least 60 days prior to the filing of the final or parcel map for approval pursuant to Government Code Section 66457:
 - a. Notify the City of Cloverdale (hereafter "City") in writing that the applicant wishes the City to acquire an interest in the land which is sufficient for such purposes as provided in Government Code Section 66462.5;
 - b. Supply the City with:
 - i. a legal description of the interest to be acquired,

- ii. a map or diagram of the interest to be acquired sufficient to satisfy the requirements of subdivision (e) of Section 1250.310 of the Code of Civil Procedure
 - iii. a current appraisal report prepared by an appraiser approved by the City which expresses an opinion as to the current fair market value of the interest to be acquired, and
 - iv. a current Litigation Guarantee Report;
 - c. Enter into an agreement with the City, guaranteed by such cash deposits or other security as the City may require, pursuant to which the applicant will pay all of the City's cost (including, without limitation, attorney's fees and overhead expenses) of acquiring such an interest in the land.
- 38. Any improvements of construction, which will require entrance upon land which the applicant does not have title or interest, shall obtain permission to enter in writing from the owner for the work shown on the improvement plans.
- 39. ADA ramps and parking shall be provided as required by State of California Title 24.
- 40. All Development Impact Fees, as defined in the City's Development Impact Program, determined to be applicable to the project shall be due and payable in conjunction with building permit issuance.
- 41. Prior to any work being conducted within the City right-of-way, the applicant shall obtain an Encroachment Permit from the City.

Grading Improvements

- 42. The applicant shall submit to the City of Cloverdale for review and approval a grading plan prepared by a Registered Civil Engineer, post sufficient surety to guarantee construction, and shall obtain a Grading Permit prior to start of construction.
- 43. The applicant shall submit to the City of Cloverdale for review and approval a detailed Soils Report certified by a Civil Engineer registered in the State of California and qualified to perform soils work. The report shall include a minimum of geotechnical investigation with regard to liquefaction, expansive soils, and seismic safety. The grading plan shall incorporate the recommendations of the approved Soils Report.
- 44. Where soil or geologic conditions encountered during grading operations are different from those anticipated in the Soils Report, or where such conditions warrant changes to the recommendations contained in the original soil investigation, a revised soil or geologic report shall be submitted for approval by the City Engineer. It shall be accompanied by an engineering and geological opinion as to the safety of the site from hazards of land slippage, erosion, settlement, and seismic activity.
- 45. All existing wells, septic tanks and/or underground fuel storage tanks shall be permanently destroyed under permit and inspection by the Sonoma County Permit and Resource Management Department, Well and Septic Division and/or Sonoma County Environmental Health or other designated agency. If there are none, the

project engineer shall provide a letter describing the scope of the search done to make this determination.

46. The grading plan shall clearly show all existing survey monuments and property corners and shall state that they shall be protected and preserved. Should monuments be damaged or destroyed during construction, they shall be replaced by the developer.
47. Improvement plans shall include an erosion control (winterization) plan. The plan must include an order of work and staging/scheduling component indicating when facilities must be installed and when they may be removed. A separate Rain Event Action Plan (REAP) shall be required and prepared as part of the Storm Water Pollution Prevention Plan (SWPPP). A copy of the REAP shall be kept on-site throughout the duration of construction activities.
48. If grading is to take place between October 15 and April 15, both temporary and permanent erosion control measures, conforming to the project erosion control plans shall be in place before October 1st. Erosion control measures shall be monitored and maintained continuously throughout the storm season.

Streets

49. Should improvements in the public right-of-way may be required, the applicant shall complete street repairs no less than the treatment provided by Type III Slurry Seal/Patch Edge Grind 2 inches for the section of South Cloverdale Boulevard along the project's frontage for a distance across the width of South Cloverdale Boulevard to the most distant extent of utility trenching needed for the proposed project but no less than half the width of the street. Improvements shall include paving, striping and signing to the satisfaction of the City Engineer.
50. Applicant shall dedicate right-of-way across the project frontage and install sidewalk in accordance with City Standards. The sidewalk improvements shall include a ramp at the north end to direct foot traffic back to the existing shoulder. All sidewalk improvements shall be ADA compliant.
51. Applicant shall acquire and dedicate right-of-way across the frontage of the adjacent southerly property and install sidewalk in accordance with City Standards. Minimum driveway separation requirements shall be met.
52. The applicant shall place an empty utility box and conduits along the entirety of the property's street frontage to the satisfaction of the City Engineer.

Drainage

53. The applicant shall demonstrate for each building pad to the satisfaction of the City Engineer as follows:
 - a. Adequate protection from 100-year frequency storm; and
 - b. Feasible access during a 10-year frequency storm.

54. A copy of the applicable FIRM map and hydrology and hydraulic calculations shall be submitted with the improvement plans per current City and Sonoma County Water Agency Standards.
55. The drainage plans and calculations shall indicate the following conditions before and after development:
 - a. Quantities of water, water flow rates, major water courses, drainage areas and patterns, diversions, collection systems, flood hazard areas, sumps and drainage courses. Hydrology shall be per current Sonoma County Water Agency Standards.
 - b. Storm drain flows post-development shall be limited to pre-development flows for the 10-year and 100-year frequency storm. Any facilities needed to accommodate this (i.e. oversized pipes, detention basins, etc.) shall be installed within the development and be privately owned and maintained.
56. All storm drain calculations shall analyze the 10-year and 100 year frequency storms.
57. Drainage facilities shall be constructed to intercept any drainage coming from offsite properties and put into an approved storm drain system.
58. The plan must conform to Low Impact Development (LID) best management practices (BMP). The City of Santa Rosa Storm Water LID Technical Design Manual is an acceptable LID BMP. The City of Santa Rosa online LID calculator may be utilized for sizing storm water BMP facilities (infiltration planters, vegetated swales, porous pavement, capture basins, etc.).
59. A Standard Urban Storm Water Mitigation Plan (SUSMP) is required if the Design Goal of 100% volume capture cannot be achieved.
60. The applicant shall provide 1) the total square footage of all new impervious surfaces (roof, driveways, parking, walkways, etc.) and each storm water collection zone(s), 2) the discharge point(s) for each tributary area(s), underground conveyances (if any) and BMP facilities, 3) the calculation for storm water volume during an 85 percentile (0.20" per hour) 24 hour storm for each tributary area(s), the total volume of each BMP facility(ies) for each tributary area(s) and hydrologic soil group(s).
61. The applicant shall provide a construction detail for each type of new BMP facility to be utilized on the property.
62. The applicant shall provide a construction detail for each new storm drain inlet (DI) and calculations and/or manufacturer ratings that shows DI(s) can accommodate storm water volume for an 85 percentile 24 hour storm for the corresponding tributary area(s).
63. Maintenance and inspection of all storm water BMP facilities on private land are the responsibility of the property owner. This responsibility shall run with the land and be legally recorded, executed, and transferred upon sale of the property. Property owners shall inspect, or ensure the inspection by a qualified professional, of all storm

water BMP facilities at least once a year. Records of maintenance and inspections shall be retained on the property for a period of 5 years.

64. A legally binding, signed maintenance agreement, or equivalent mechanism approved by the City of Cloverdale, is required for all storm water BMP facilities prior to issuance of certificate to occupy.

Sanitary Sewer & Water Improvements

65. All public sewer and water mains must be located in public right-of-way or public utility easements meeting City standards and as approved by the City Engineer. Any and all rights-of-way, or if unavoidable, easement dedications must be made by the property owner to the City, at property owner's expense, prior to final acceptance of the project by the City. The developer shall prepare all necessary legal descriptions and deeds and submit the documents to the City Engineer for review and approval prior to recordation.
66. All private storm drains, water mains, fire mains, sanitary sewer mains, laterals, and privately owned appurtenances, must be located within the private property and clearly identified as private on the improvement plans.

Water

67. The applicant shall submit with the improvement plans a water analysis demonstrating that the size of lines proposed for the project are adequate for fire protection. Plans and calculations shall be submitted to both the City and Cloverdale Fire Protection District.
68. If the water analysis concludes there is insufficient pressure and flow for required fire flows from the single 8 inch diameter water main in South Cloverdale Boulevard, and as concurred by the City Engineer, the proposed project shall analyze and construct offsite water mains per the City's Master Plan as needed to provide adequate fire flows and pressures. The water main shall be public and the applicant shall present to the City of Cloverdale, free of encumbrances, an irrevocable offer of public utility easements as required by the City Engineer if needed.
69. Provide one master domestic water meter with reduced pressure backflow prevention device for the proposed project. The meter and device shall be located in the public right of- way or a utility easement accessible to City staff at all times.
70. The water meter shall be electronic read technology, Automatic Metering Infrastructure (AMI system), as approved by the City Engineer.
71. Provide a public fire protection service with double detector check valve assembly and flow detector device for the proposed project.
72. Fire hydrant requirement and placement shall be per the Cloverdale Fire Protection District.

Sewer

73. All on-site sewer lines shall be privately owned and privately maintained and shall be constructed to public City standards and as approved by the City Engineer.
74. Sewer grades must be designed such that ultimate finished floors are a minimum of 12- inches above the upstream manhole or clean-out rim elevations. Inadequate elevation differentials or grade on private SS mains and laterals, as determined by the City, must be mitigated by either raising finished floor elevation(s) or installing privately owned and operated SS lift station(s) with grinder/ejector pump(s) on site.
75. If the project's design sewer discharge flows are greater than anticipated for this property in the sewer master plan, the applicant shall provide for a sewer capacity study to evaluate the adequacy of the existing sewer mains to convey the proposed project's peak wet weather flows. The analysis shall extend to the 27 inch sewer trunk main crossing Highway 101. Any sewer capacity deficiencies identified in the analysis, beyond which is identified in the 2009 Sewer Master Plan, shall be corrected at the applicant's sole expense.

During Construction Operations, the Following Conditions Shall Apply:

76. The developer shall keep adjoining public streets free and clear of project dirt, mud, materials, and debris during the construction period, as found necessary by the City.
77. If any hazardous waste is encountered during the construction of this project, all work shall be immediately stopped and the Sonoma County Environmental Health Department, the Fire Department, the Police Department, and the City Inspector shall be notified immediately. Work shall not proceed until clearance has been issued by all of these agencies.
78. During construction, the Contractor shall be responsible for controlling noise, odors, dust and debris to minimize impacts on surrounding properties and roadways. Contractor shall be responsible to ensure all construction equipment is equipped with manufacturers approved muffler's baffles. Failure to do so may result in the issuance of an order to stop work.
79. Work hours are limited to Monday through Friday from 7:00 a.m. to dark, but in no case shall work continue later than 7:00 p.m. Work hours on Saturdays shall be from 8:00 a.m. to 5:00 p.m. No work shall occur on Sundays or Holidays. Inspections will be available Monday through Thursday from 2:00 p.m. to 4:00 p.m. Contractors shall schedule inspections 48 hours in advance by calling the Building Department at (707) 894-1725.
80. The following minimum Best Management Practices (BMPs) shall be required during construction:
 - a. Construction crews shall be instructed in preventing and minimizing pollution on the job.
 - b. Stabilize construction entrance/exit to prevent tracking mud/sediment onto roadway. Only one stabilized construction entrance/exit will be

allowed unless otherwise approved by the City Engineer. Vehicles entering and leaving construction sites spread pollutants such as sediment, gravel, and other loose particles onto adjacent roads. Pollutants washed into roadside ditches are a nuisance to drivers and may cause damage to vehicles.

- c. Use brooms and shovels when possible to maintain a clean site. Use of a hose is not recommended. Introducing water as a cleanup method adds to water pollution.
- d. Designate a concrete washout area, if needed, to avoid wash water from concrete tools or trucks from entering storm drain systems. Maintain washout area and dispose of concrete waste on a regular basis.
- e. Establish a vehicle storage, maintenance, and refueling area, if needed, to minimize the spread of oil, gas, and engine fluids. Use of oil pans under stationary vehicles is strongly recommended.
- f. Protect drain inlets from receiving polluted storm water through the use of filters such as fabrics, gravel bags or straw wattles.
- g. Be prepared for rain and have the necessary materials onsite before the rainy season.
- h. Inspect all BMPs before and after each storm event. Maintain BMPs on a regular basis and replace as necessary, through the entire course of construction.

Prior to Acceptance of Improvements and Release of Surety, the following conditions shall be satisfied:

81. Sufficient surety guaranteeing the public improvements for a period of one year shall be provided.
82. All improvements shown on the Improvement Plans shall be completed and accepted by the City.
83. Prior to acceptance of improvements or occupancy of the building, existing curb, gutter and sidewalk to remain shall be inspected by the City. Any curb, gutter and sidewalk which is not in accord with City standards or is damaged before or during construction, shall be replaced.
84. The developer shall provide a written statement signed by his or her engineer verifying that the grading and/or drainage improvements are completed in accordance with the plans approved by the City Engineer and the Building Official.
85. A complete set of As-Built/Record drawing mylar improvement plans showing all construction changes from the original plans, TIFF files (or alternate format determined by Public Works) for each of the improvement plan sheets and one paper copy of the AsBuilts/Record improvement plans shall be provided to the Public Works Department prior to acceptance of the public improvements.
86. The owner/developer shall submit a recorded copy of the CC&Rs to the City Engineer for review and approval.

Fire

- 87. Prior to issuance of a Building Permit for the project, the applicant shall provide a signage and striping plan for review by the local fire authority. Fire access remains a concern with this project. Adequate red curb striping and signage are necessary to keep these dedicated spaces accessible to emergency vehicles.
- 88. The existing hydrants on South Cloverdale Blvd. near the project area (690 S. Cloverdale Blvd. and 62 Hillview Drive) may need to be upgraded to City standard commercial hydrants. This would require the applicant to purchase the new hydrants and coordinate with the City of Cloverdale Public Works Director for hydrant replacement.
- 89. All fire sprinkler plans will be reviewed by the Cloverdale Fire Protection District.
- 90. All mitigation or impact fees shall be paid to the City of Cloverdale prior to the issuance of a Building Permit.
- 91. All fire system plan check fees shall be paid when deferred plans are submitted to the Cloverdale Fire Protection District, 451 South Cloverdale Blvd. 707-894-3545

* * * * *

Resolution No. 09-2016 was duly adopted on this the 7th day of June 2016, by the following roll call vote: (-ayes, -noes)

- AYES:
- NOES:
- ABSTAIN:
- ABSENT:

Approved:

Attested:

Mike Shanahan, Chair

Linda Moore, Deputy City Clerk

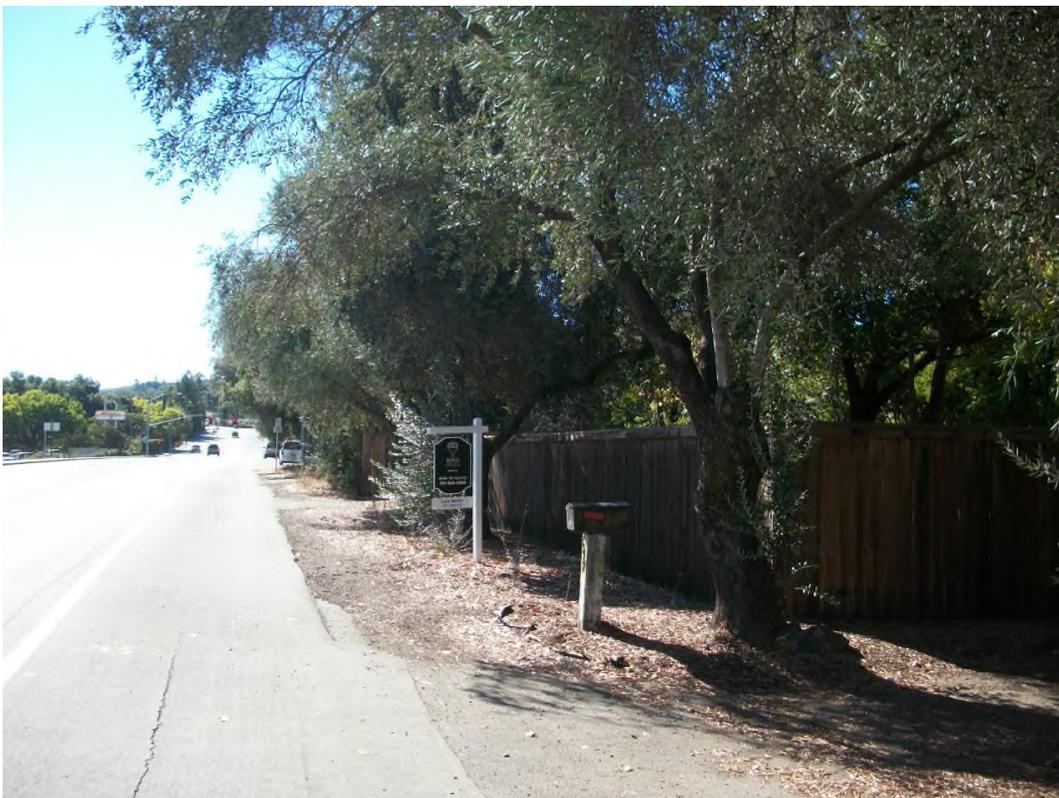
X:\Community Development\Applications\2015\DR 041-2015 The Boulevard Apartments - 699 S. Cloverdale Blvd - Schellinger Bros\PC Resolution - The Boulevard Apartments DR - 699 S. Cloverdale.docx

ATTACHMENT 3

Site Photos



View of the existing single-family residence at front of project site looking west



View of the property's street frontage and existing street trees looking south along S. Cloverdale Blvd



View looking west along south side of project site in the area proposed for some uncovered parking spaces



View of south west corner of project site including trees to be protected and existing single-family residence on the property to the rear of the site



View to the south at the existing single-family residence on 701 S. Cloverdale Boulevard and the residences in the Ioli Ranch subdivision on the next property to the south



View to the east towards front of project site and S. Cloverdale Boulevard from rear of the project site



Site Context
1:30



North

The Boulevard
Apartment Project
Cloverdale

Title Sheet
Site Context

Code References

Applicable California Title 24 Codes as amended by the city of Cloverdale as follows:

- 2013 California Building Codes
- 2013 California Electrical Code
- 2013 California Plumbing Code
- 2013 California Mechanical Code
- 2013 California Fire Code
- 2013 California Green Building Standards Code
- 2013 California Energy Code
- 2013 California Administrative Code
- 2013 California Referenced Standards Code
- 2013 California Green Building Standards Code

The site does not fall within any Fire Hazard Severity Zone or Wildland Urban Interface Area per the 2025 General Plan Background Report Figure 6 Wildland Fire Hazard Zone Map.

Per City Ordinance, all roofing will be Type A composition shingles.

Per City Ordinance, the project will be equipped with an NFPA-13R automatic sprinkler system.

Per 2013 CRC 308, all windows and exterior doors with glazing shall meet all the requirements for safety glazing.

Project Description

The project is the development of a 1.4 acre, relatively level, mostly vacant, rectangular infill parcel into a 22 unit apartment project. An existing house on the property will be retained as the manager's apartment. An existing garage, out building and associated paving will be removed.

The proposed apartments are contained in three new 2 story buildings. Each apartment has 2 bedrooms and 2 bathrooms and an individual entrance at grade. There are 8 fully ADA adaptable lower level units with private patios and 13 upper level walk up units with private decks.

All buildings have attached tuck under parking providing one covered space per unit with the exception of Building 3 whose 4 tuck under carports are supplemented by a detached carport which also provides covered ADA compliant parking.

A common laundry building (with an attached one car garage for the manager's unit) is located to the north of the existing house. A dumpster enclosure is located adjacent to the laundry to the west. Several picnic areas, a children's play ground and a dog run are located within the projects common open space areas.

Unit Count

Building	Unit A	Unit B	Unit C	SFD	Total	Carport
1/A	3	3	2	0	8	8
2/A	3	3	2	0	8	8
3/B	2	2	1	0	5	7
Mgr's	0	0	0	1	1	2 Garage
Totals	8	8	5	1	22	25
	7,760sf	8,360sf	4,790sf	1,044sf		5,734sf

New Construction Building Area: 26,444sf/ Existing: 1,044sf
Project Building Area Total: 27,694sf / 61,420sf= 0.45FAR
Note: All units have 2 Bedrooms and 2 Baths except SFD 2BR/1Ba

South Elevation/ Building Type A



Project Data

Address: 699 Cloverdale Boulevard
Cloverdale, CA
116-180-004
APN: 61,420sf/ 1.4 acre
Parcel Size: CL-R3
Proposed Zoning: 22/1.4= 15.7 UPA
Proposed Density: 21 Rental Apartments/ 1 SFD
Primary Use: 25 Covered/ 39 Open
Parking Provided: 64 spaces Total/ 22= 2.9/Unit
Building Ht. max.: 35'
Setbacks Required: F:20' R: 20' S: 5' 1st/ 10' 2st
Setbacks Provided: F:65' R: 21' S: 5' 1st/ 10' 2st

Area Tabulations

Site Total:	61,420sf	100%
Building at Grade:	10,102sf	
Carpports:	5,734sf	
Porches:	875sf	
Buildings Total:	16,711sf	27%
Parking:	6,152sf	
Private Drive:	19,058sf	
Walks & Patios:	2,944sf	
Paved Area Total:	28,154sf	46%
Open Space:	16,555sf	27%

Sheet Index

- A.0 Title Sheet/ Site Context
- A.1 Proposed Site Plan
- A.2 Proposed Floor Plans Building A
- A.3 Elevations Building A
- A.4 Proposed Floor Plans Building B
- A.5 Elevations Building B/ Misc.
- A.6 Massing Model Views/ East End
- A.7 Massing Model Views/ Center
- A.8 Massing Model Views/ West End

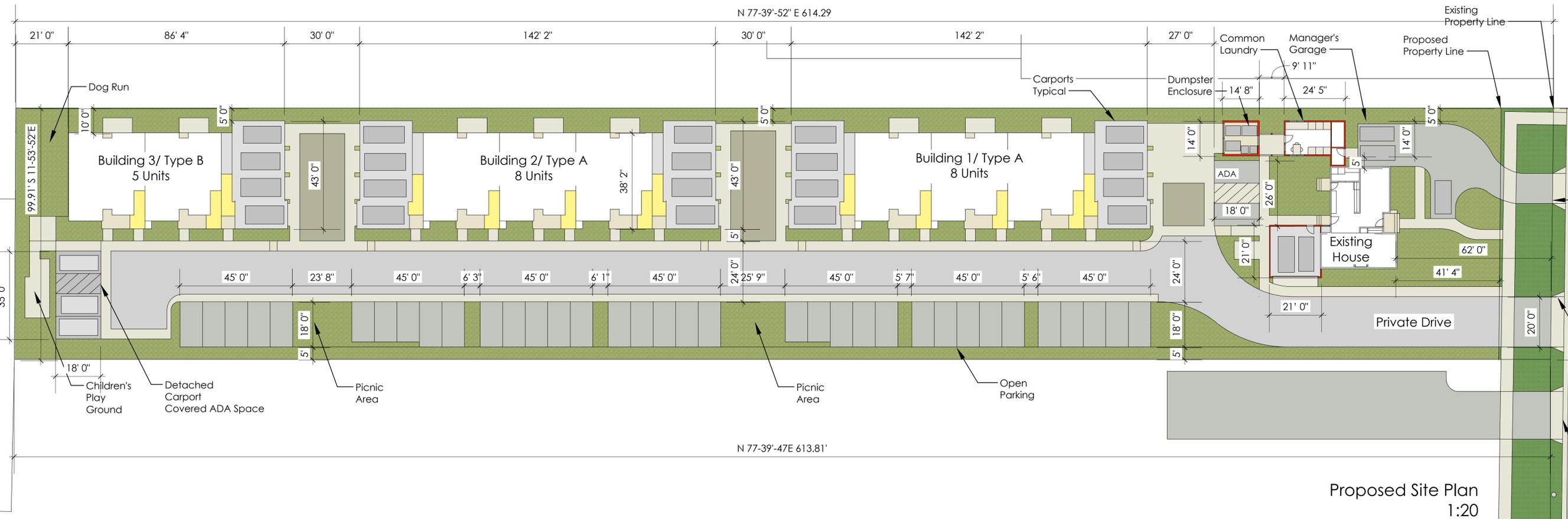
Participants

Owner/ Developer: Schellinger Homes, Inc.
1270 Airport Parkway
Santa Rosa, CA 95403
Joe Ripple Phone: 707-454-1600
Architect: Jon Worden Architects
512 Matheson Street
Healdsburg, CA 95448
Jon Worden Phone: 707-239-9076
Civil Engineer: Baechtel Hudis, Inc
131 Stony Circle
Santa Rosa, CA 95403
Ken Caven Phone: 707-542-8796
Landscape Architect: Parker Smith Landscape Architecture
4011 Haven Court
Sebastopol, CA 95472
Parker Smith: 707-829-060

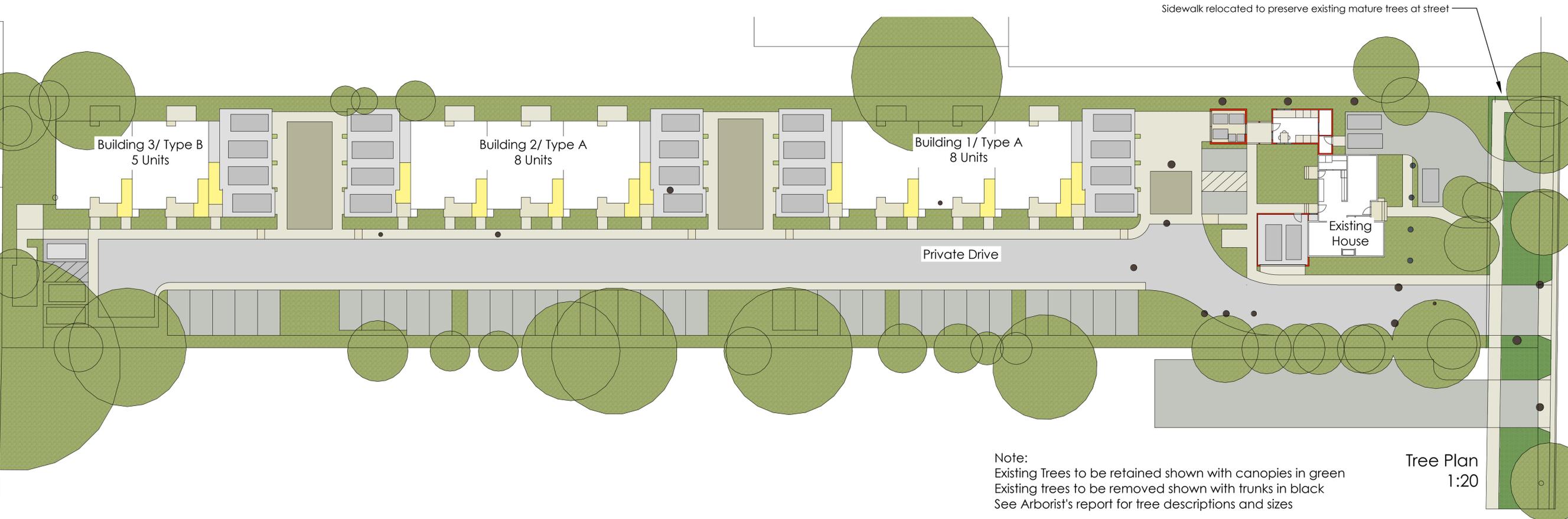
A.0
3-8-16
Revised 5-9-16



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Healdsburg, CA 95441
707-239-9076



Existing Property Line
Proposed Property Line
Existing Driveway Cut
New Driveway Cut
Neighbor's Proposed Driveway Cut
South Cloverdale Boulevard
N 11-37'-26"W 100.05'



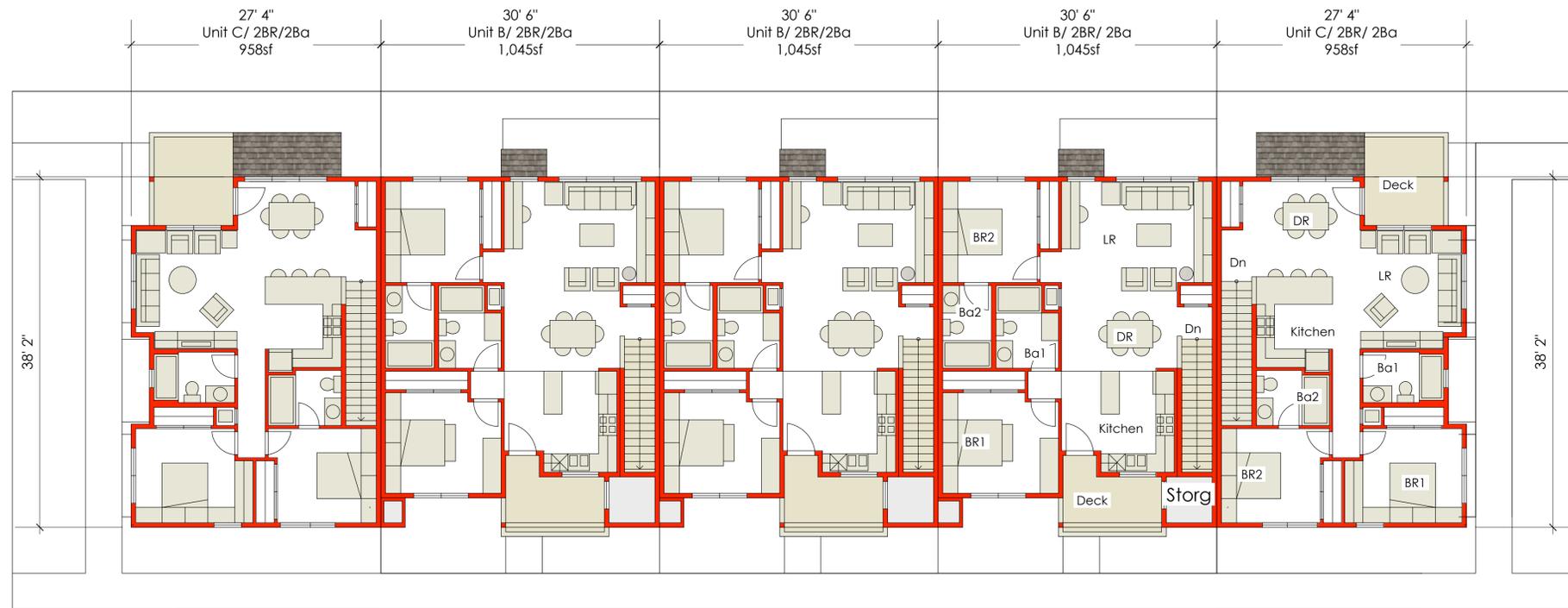
North

**The Boulevard
Apartment Project
Cloverdale**

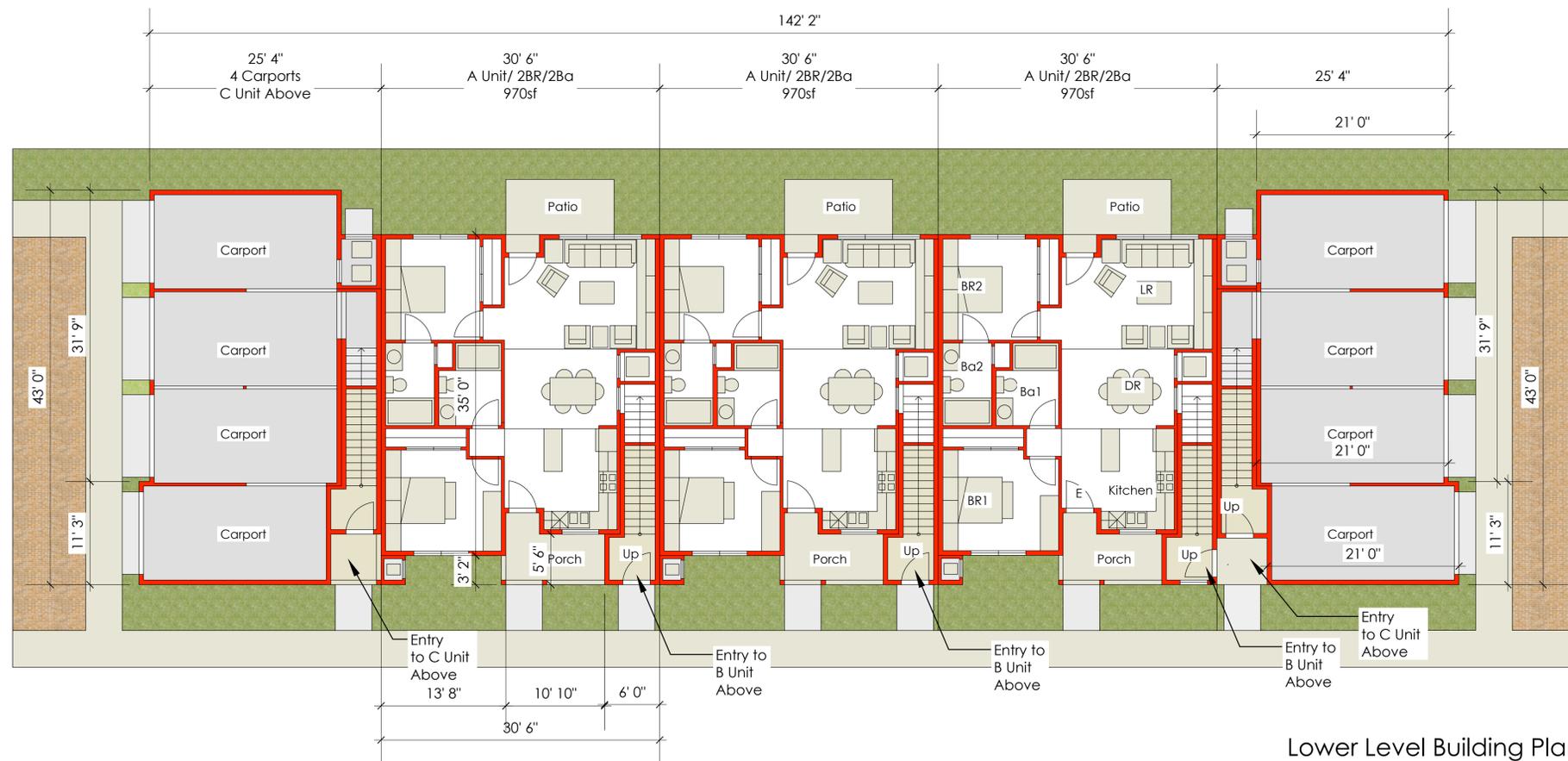
Proposed Site Plan

A.1

3-8-16
Revised 5-9-16



Upper Level Building Plan
1:8



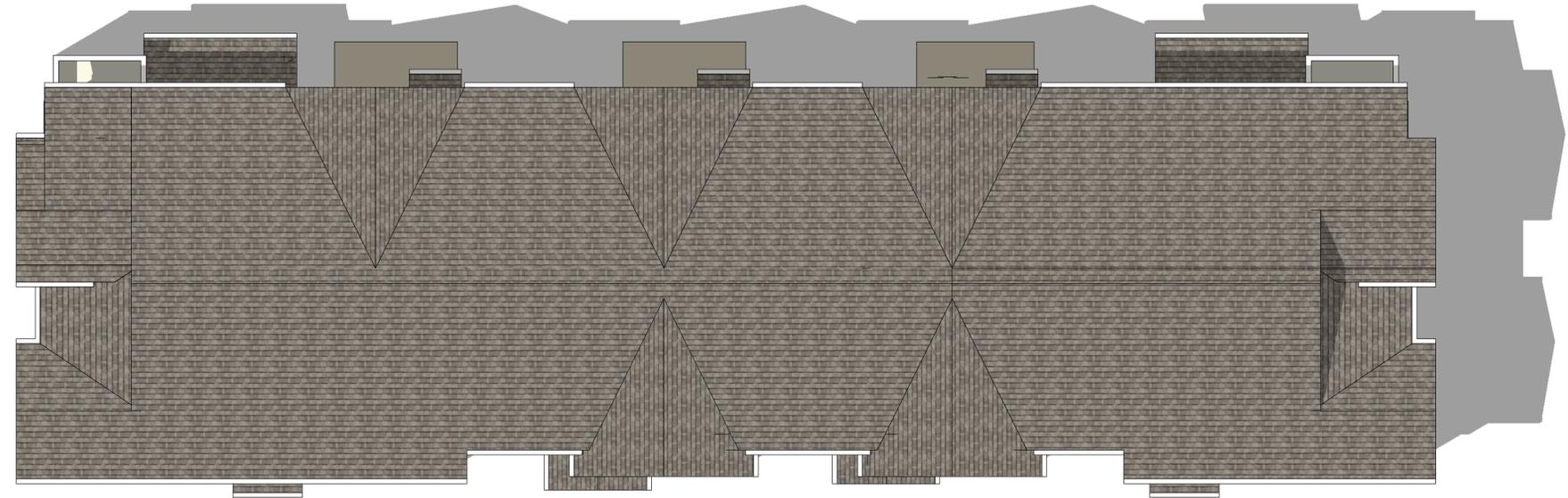
Lower Level Building Plan
1:8



North

The Boulevard
Apartment Project
Cloverdale

Building A
Plans
1:8



Roof Plan
1:8



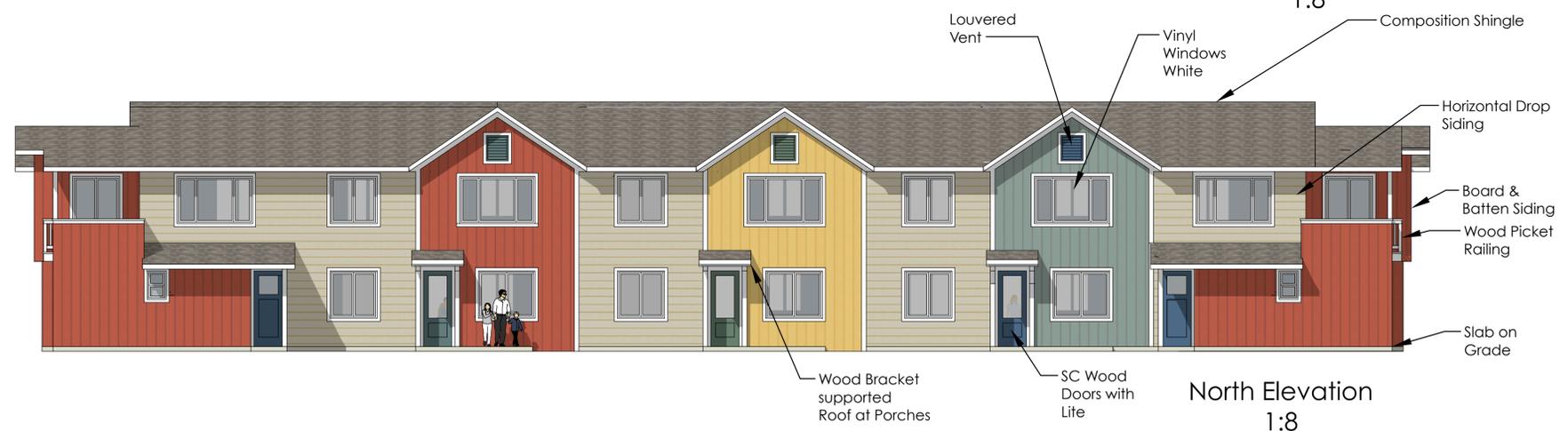
West Elevation
1:8



South Elevation
1:8



East Elevation
1:8



North Elevation
1:8



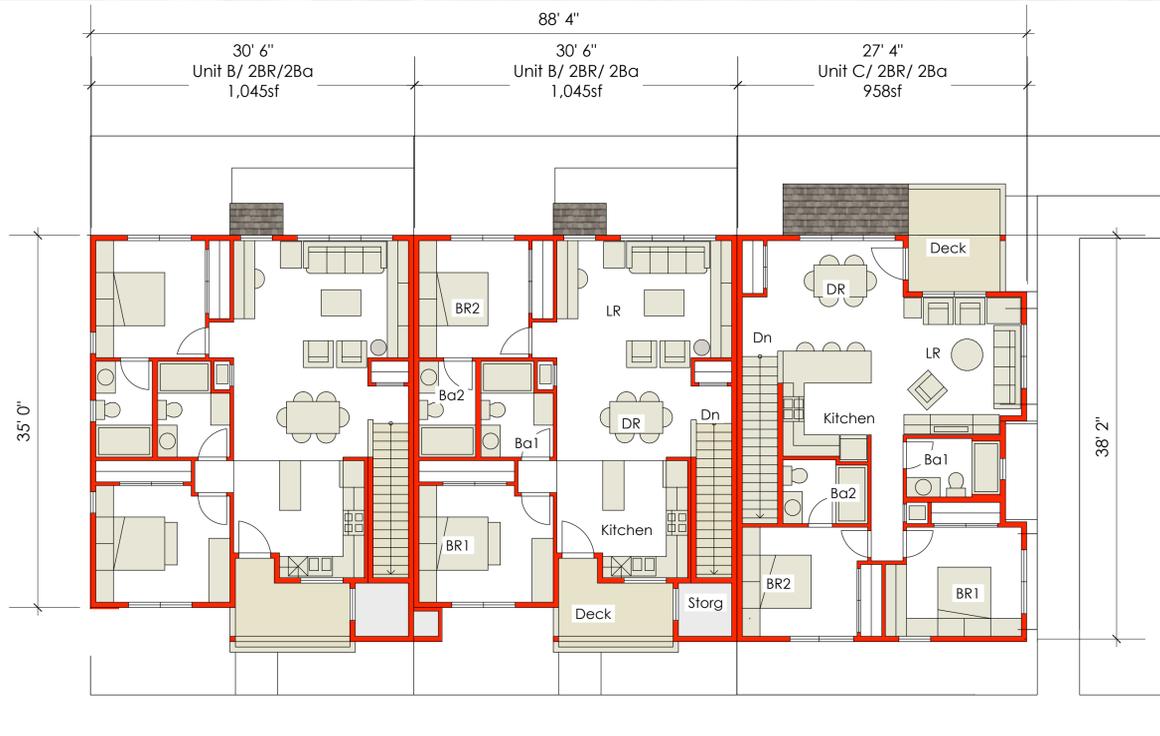
North

The Boulevard
Apartment Project
Cloverdale

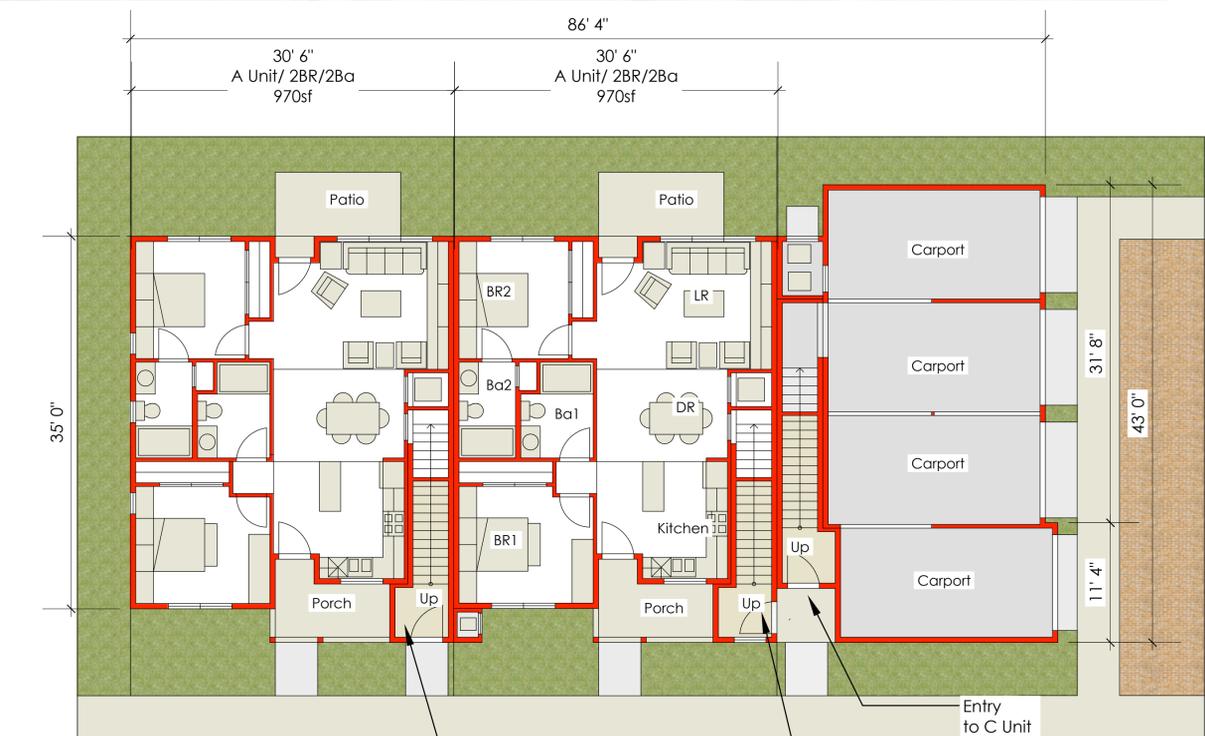
Building A
Elevations
1:8



Bird's Eye View
Looking Northeast



Upper Level Building Plan
1:8



Lower Level Building Plan
1:8



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North

The Boulevard
Apartment Project
Cloverdale

Building B
Plans
1:8

Roof Plan/ Existing SFD
New Laundry Garage
1:8



Roof Plan/ Building B
1:8



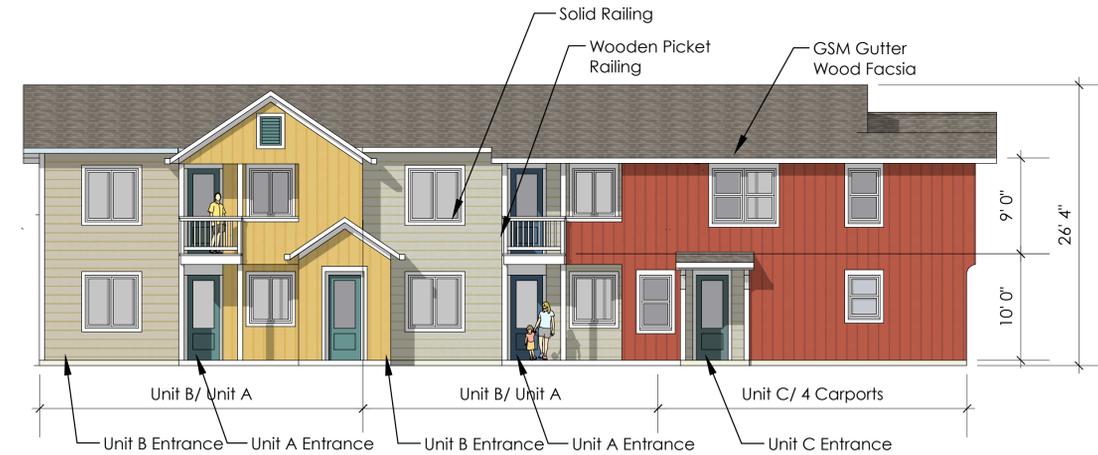
East Elevation



West Elevation



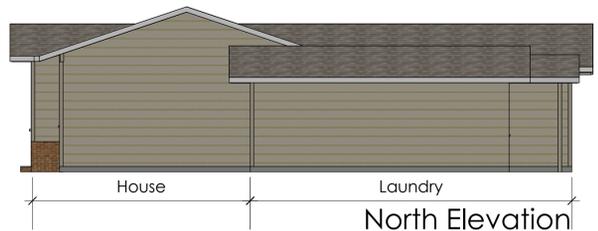
West Elevation
Building B
1:8



South Elevation/ Building B
1:8



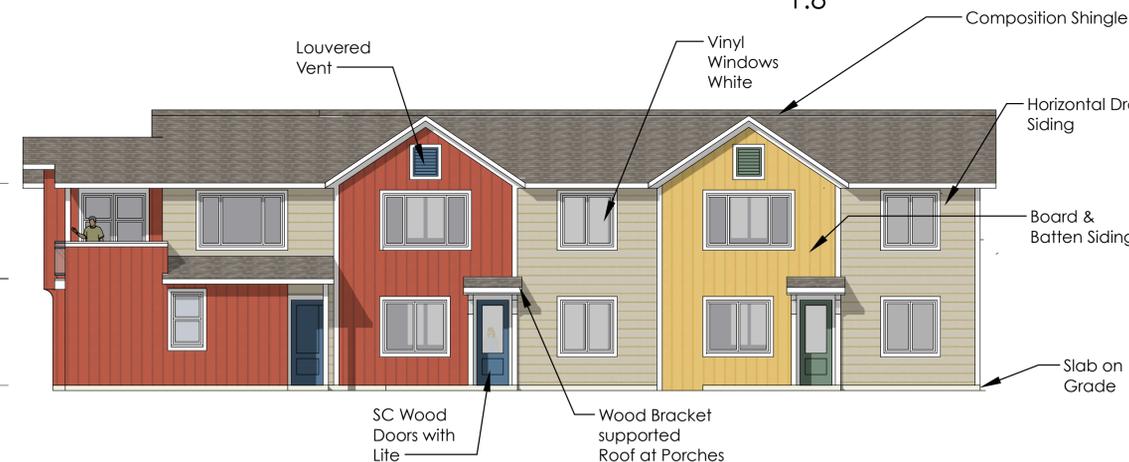
South Elevation



North Elevation



East Elevation
Building B
1:8



North Elevation/ Building B
1:8



North

**The Boulevard
Apartment Project
Cloverdale**

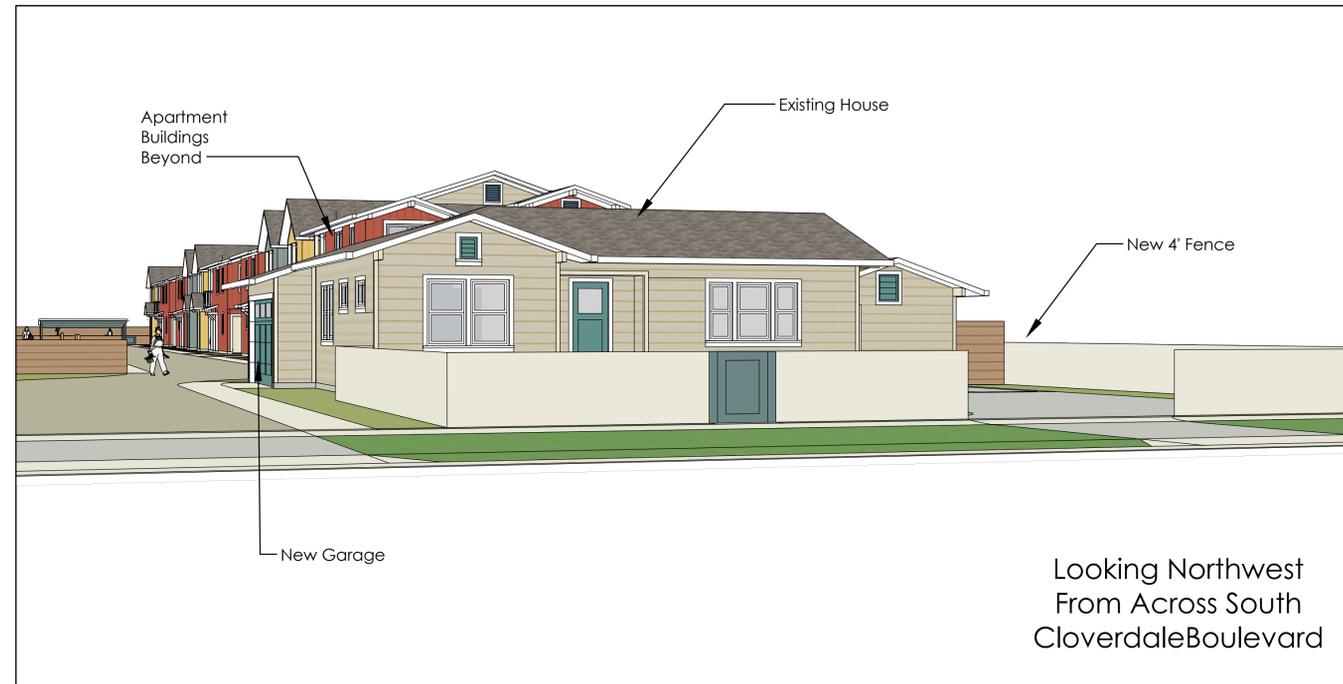
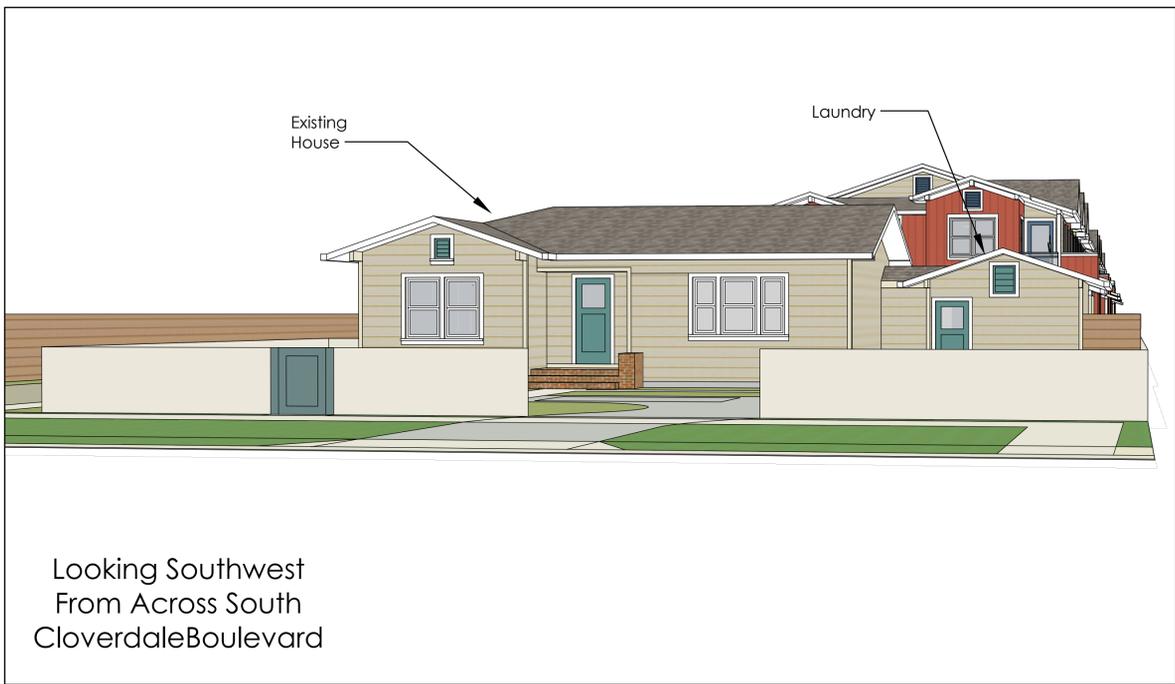
**Building B & Misc.
Elevations
1:8**

A.5

3-8-16
Revised 5-9-16



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North

The Boulevard
 Apartment Project
 Cloverdale

Massing Model
 Views/ East
 End of Project

A.6

3-8-16
 Revised 5-9-16



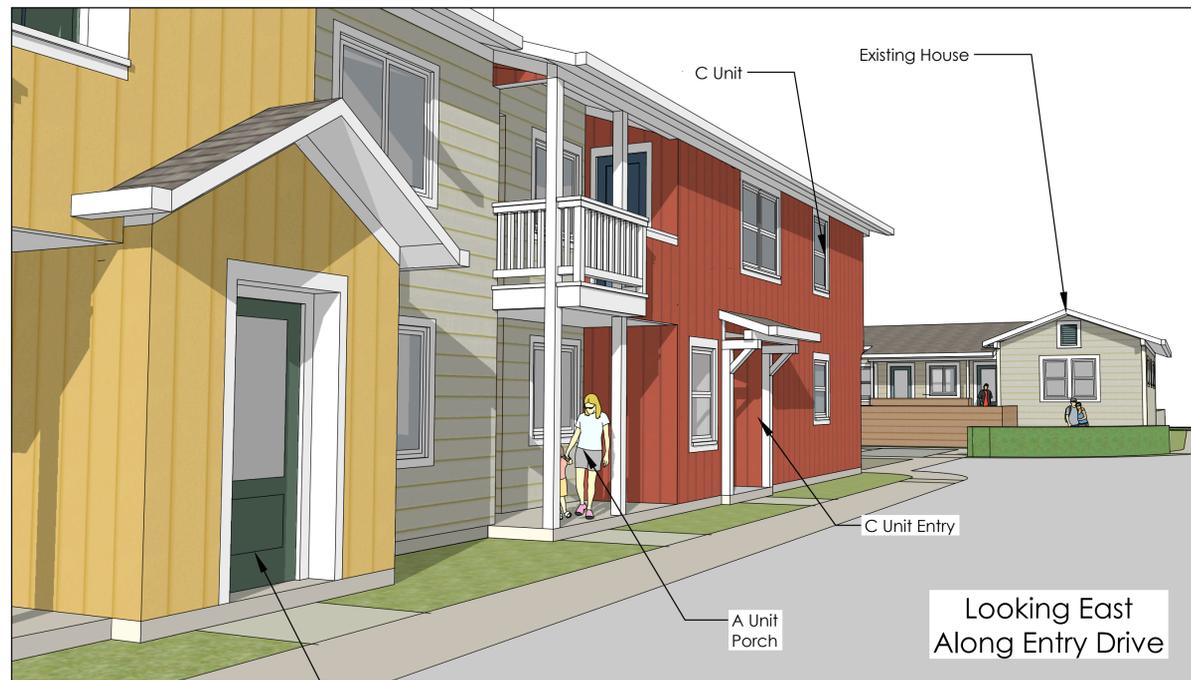
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North

The Boulevard
Apartment Project
Cloverdale

Massing Model
Views/ Central
Portion of Project



Looking East
Along Entry Drive



Looking Northwest
From Entry Drive

A.7

3-8-16
Revised 5-9-16



Bird's Eye View
Looking East



Looking Northwest
Along Entry Drive



Looking Northeast
From Entry Drive



North

The Boulevard
Apartment Project
Cloverdale

Massing Model
Views/ West End
of Project

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH CHAPTER 11A AND 11 OF THE SONOMA COUNTY CODE (SCC).
- THE APPROVED PLANS SHALL CONFORM WITH THE PERMIT AND RESOURCE MANAGEMENT DEPARTMENT'S (PRMD) EROSION PREVENTION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP'S) GUIDE AS POSTED ON THE PRMD WEBSITE.
- THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. WORK SITES WITH INADEQUATE EROSION AND SEDIMENT CONTROL MAYBE SUBJECT TO A STOP WORK ORDER.
- IF DISCREPANCIES OCCUR BETWEEN THESE NOTES, MATERIAL REFERENCED HEREIN OR MANUFACTURER'S RECOMMENDATIONS, THEN THE MOST PROTECTIVE SHALL APPLY.
- AT ALL TIMES THE OWNER IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE STATE OF CALIFORNIA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT WASTE DISCHARGE REQUIREMENTS FOR DISCHARGES OF STORM WATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITY. CONSTRUCTION ACTIVITIES INCLUDE BUT ARE NOT LIMITED TO CLEARING, GRADING, EXCAVATION, STOCKPILING, AND RECONSTRUCTION OF EXISTING FACILITIES INVOLVING REMOVAL AND REPLACEMENT.

RAINY SEASON OPERATIONS

- THE OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 15 – APRIL 15). CONSTRUCTION GRADING AND DRAINAGE IMPROVEMENT SHALL BE PERMITTED DURING THE RAINY SEASON ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH SCC CHAPTER 11 AND 11A. STORM WATER BMP'S REFERENCED OR DETAILED IN THE PERMIT AUTHORITY'S BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED AND FUNCTIONAL ON THE SITE AT ALL TIMES.
- THE AREA OF ERODABLE LAND EXPOSED AT ANY ONE TIME DURING THE WORK SHALL NOT EXCEED 1 ACRE OR 20% OF THE PERMITTED WORK AREA, WHICHEVER IS GREATER, AND THE TIME OF EXPOSURE SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE.
- AGRICULTURAL GRADING AND DRAINAGE IMPROVEMENTS, AND INITIAL LAND PREPARATION WORK FOR VINEYARD AND ORCHARD PLANTING, SHALL BE PERMITTED DURING THE RAINY SEASON ONLY FROM APRIL 1 TO APRIL 15, AND ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH SCC CH. 11A AND 11.

YEAR AROUND REQUIREMENTS

- DURING THE NON-RAINY SEASON, ON ANY DAY WHEN THE NATIONAL WEATHER SERVICE FORECAST IS A CHANCE OF RAIN OF 30% OR GREATER WITHIN THE NEXT 24 HOURS, STORM WATER BMP'S REFERENCED OR DETAILED IN PRMD'S BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED, INSTALLED, AND FUNCTIONAL ON THE SITE TO PREVENT SOIL AND OTHER POLLUTANT DISCHARGES. AT ALL OTHER TIMES, BMP'S SHOULD BE STORED ON SITE IN PREPARATION FOR INSTALLATION PRIOR TO RAIN EVENTS.
 - EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE FORECASTED STORM EVENTS AND AFTER STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPLACED. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
 - THE LIMITS OF GRADING SHALL BE DEFINED AND MARKED ON SITE TO PREVENT DAMAGE TO SURROUNDING VEGETATION. PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE. ANY EXISTING VEGETATION WITHIN THE LIMITS OF GRADING THAT IS TO REMAIN UNDISTURBED BY THE WORK SHALL BE IDENTIFIED AND PROTECTED FROM DAMAGE BY MARKING, FENCING, OR OTHER MEASURES.
 - CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS AND SHALL BE NOTED ON THE PLAN.
 - DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT, TRASH, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER, AND CHLORINATED WATER.
 - ENTRANCE(S) TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE COUNTY RIGHT-OF-WAY, SUCH AS ROADWAYS AND SIDEWALKS, SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE ON A DAILY BASIS TO PREVENT DUST, SILT, AND DIRT FROM BEING RELEASED OR TRACKED OFFSITE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AT THE END OF EACH WORKING DAY OR MORE OFTEN AS NECESSARY.
 - ALL DISTURBED AREAS SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERS, BLANKETS OR MATS, TEMPORARY OR PERMANENT REVEGETATION SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER VEGETATION REMOVAL BUT IN ALL CASES PRIOR TO OCTOBER 15. PRIOR TO FINAL INSPECTION, ALL DISTURBED AREAS SHALL BE REVEGETATED OR LANDSCAPING SHALL BE INSTALLED.
 - WHENEVER IT IS NOT POSSIBLE TO USE EROSION PREVENTION MEASURES ON EXPOSED SLOPES, SEDIMENT CONTROL DEVICES SUCH AS FIBER ROLLS AND SILT FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT MIGRATION. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEYED INTO THE SOIL AND INSTALLED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 TO 5 FEET FROM TOE OF SLOPE.
 - HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVENLY APPLY SEED MIX AND FERTILIZER TO THE EXPOSED SLOPE. SECOND, EVENLY APPLY MULCH OVER THE SEED AND FERTILIZER. THIRD, STABILIZE THE MULCH IN PLACE. AN EQUIVALENT SINGLE STEP PROCESS, WITH SEED, FERTILIZER, WATER, AND BONDED FIBERS IS ACCEPTABLE. APPLICATIONS SHALL BE BROADCASTED MECHANICALLY OR MANUALLY AT THE RATES SPECIFIED BELOW. SEED MIX AND FERTILIZER SHALL BE WORKED INTO THE SOIL BY ROLLING OR TAMPING. IF STRAW IS USED AS MULCH, STRAW SHALL BE DERIVED FROM WHEAT, RICE, OR BARLEY AND BE APPROXIMATELY 6 TO 8 INCHES IN LENGTH. STABILIZATION OF MULCH SHALL BE DONE HYDRAULICALLY BY APPLYING AN EMULSION OR MECHANICALLY BY CRIMPING OR PUNCHING THE MULCH INTO THE SOIL. EQUIVALENT METHODS AND MATERIALS MAY BE USED ONLY IF THEY ADEQUATELY PROMOTE VEGETATION GROWTH AND PROTECT EXPOSED SLOPES.
- | MATERIALS | APPLICATION RATE (POUNDS PER ACRE) |
|--------------------------------------|------------------------------------|
| SEED MIX | |
| Bromus mollis (BLANDO BROME) | 40 |
| Trifolium hirtum (HYKON ROSE CLOVER) | 20 |
| FERTILIZER | |
| 16-20-0 & 15% SULPHUR | 500 |
| MULCH | |
| STRAW | 4000 |
| HYDRAULIC STABILIZING* | |
| M-BINDER OR SENTINEL | 75-100 |
| EQUIVALENT MATERIAL | PER MANUFACTURER |
- *NON-ASPHALTIC, DERIVED FROM PLANTS
- DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.
 - STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS UNTIL DRAINAGE CONVEYANCE SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION HAS BEEN COMPLETED.
 - ENERGY DISSIPATERS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY EROSIIVE STORM WATER FLOW.

- SOIL, MATERIAL STOCKPILES, AND FERTILIZING MATERIAL SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.
- SOLID WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS, SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE DAILY OR AS NECESSARY. REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE COORDINATED BY THE CONTRACTOR.
- A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER COUNTY WATERWAYS SUCH AS CREEKS OR STORM DRAINS. NO WASHOUT OF CONCRETE, MORTAR MIXERS, OR TRUCKS SHALL BE ALLOWED ON SOIL.
- PROPER APPLICATION, CLEANING, AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.
- TEMPORARY REST ROOMS AND SANITARY FACILITIES SHALL BE LOCATED AND MAINTAINED DURING CONSTRUCTION ACTIVITIES TO PREVENT THE DISCHARGE OF POLLUTANTS.
- APPROPRIATE, FUELING, MAINTENANCE CLEANING AREAS SHALL BE DESIGNED AND MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS.

GRADING DRAINAGE NOTES

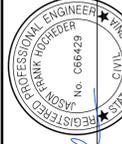
- PERFORM GRADING AND DRAINAGE IMPROVEMENTS IN ACCORDANCE WITH CHAPTER 11A AND 11 OF THE SONOMA COUNTY CODE (SCC), APPLICABLE SONOMA COUNTY REGULATIONS AND AS PER THE RECOMMENDATIONS OF THE PROJECT SOILS ENGINEER PERFORMED BY YOUNG ENGINEERING SERVICES, "YES" JOB NO.
- ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD UPON DISCOVERING DISCREPANCIES, ERRORS, OR OMISSIONS IN THE PLANS. PRIOR TO PROCEEDING, THE OWNER SHALL HAVE THE PLANS REVISED TO CLARIFY IDENTIFIED DISCREPANCIES, ERRORS, OR OMISSIONS. THE APPROVED PLANS AND SPECIFICATIONS SHALL NOT BE CHANGED WITHOUT THE WRITTEN APPROVAL OF THE SONOMA COUNTY PERMIT AND RESOURCE MANAGEMENT DEPARTMENT (PRMD). PROPOSED MODIFICATIONS TO THE APPROVED PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE PERMIT AUTHORITY (PRMD) IN WRITING, TOGETHER WITH ALL NECESSARY TECHNICAL INFORMATION AND DESIGN DETAILS.
- THE GRADING/DRAINAGE PERMIT AND AN APPROVED COPY OF THE GRADING/DRAINAGE PLANS SHALL BE MAINTAINED ON THE PROJECT SITE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
- PRMD MAY ORDER THAT ANY WORK STOP IMMEDIATELY IF IT IS PERFORMED CONTRARY TO CHAPTER 11A AND 11 OF THE SONOMA COUNTY CODE, THE APPROVED PLANS AND SPECIFICATIONS, PERMIT CONDITIONS, OR ANY WORK THAT HAS BECOME HAZARDOUS TO PROPERTY OR THE PUBLIC. A GRADING/DRAINAGE PERMIT MAY BE SUSPENDED, REVOKED, OR MODIFIED BY PRMD IN ACCORDANCE WITH SCC 11.24.040.
- ISSUANCE OF A GRADING/DRAINAGE PERMIT BY PRMD DOES NOT ELIMINATE THE RESPONSIBILITY OF THE OWNER TO SECURE PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK ON THESE PLANS. FAILURE TO OBTAIN ALL REQUIRED PERMITS MAY RESULT IN FINES FROM THE RESPECTIVE AGENCY.
- ISSUANCE OF A PERMIT BY PRMD TO CONSTRUCT A DAM OR A RESERVOIR DOES NOT ELIMINATE THE RESPONSIBILITY OF THE OWNER TO SECURE PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES INCLUDING THE CALIFORNIA DIVISION OF SAFETY OF DAMS WHEN WORK FALLS UNDER STATE JURISDICTION. FAILURE TO OBTAIN OTHER PERMITS MAY RESULT IN FINES FROM THE RESPECTIVE AGENCY.
- EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE AND LOCATED THROUGHOUT THIS SITE SHALL REMAIN OPEN AND CLEAR OF DEBRIS TO PROPERLY CONVEY STORM WATER. IF EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE ARE LOCATED IN THE COUNTY RIGHT-OF-WAY AND NEED MAINTENANCE, CONTACT THE DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS AT (707) 565-2231 FOR FURTHER ASSISTANCE. IN ANY EVENT, THE OWNER AND/OR CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNDERGROUND SERVICE ALERT (U.S.A), TOLL FREE AT 1-800-642-2444, AT LEAST TWO WORKING DAYS BUT NOT MORE THAN 14 CALANDAR DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL UNCOVER RELEVANT UTILITIES TO VERIFY THEIR LOCATION AND ELEVATION. IF UNEXPECTED OR CONFLICTING UTILITIES ARE ENCOUNTERED DURING EXCAVATION, NOTIFY U.S.A., THE UTILITY OWNER, AND/OR THE ENGINEER OF RECORD IMMEDIATELY. UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER, SEWER, ELECTRICAL, GAS, TELEPHONE, AND CABLE/TV. IF PRACTICAL, THE EXCAVATOR SHALL DELINEATE WITH WHITE PAINT OR OTHER SUITABLE MARKINGS THE AREA TO BE EXCAVATED.
- IN THE EVENT ARCHAEOLOGICAL FEATURES SUCH AS POTTERY, ARROWHEADS, MIDDEN OR CULTURALLY MODIFIED SOIL DEPOSITS ARE DISCOVERED AT ANY TIME DURING GRADING, SCRAPING OR EXCAVATION WITHIN THE PROPERTY, ALL WORK SHALL BE HALTED WITHIN THE VICINITY OF THE FIND AND COUNTY PRMD PROJECT REVIEW STAFF SHALL BE NOTIFIED AND A QUALIFIED ARCHAEOLOGIST SHALL BE CONTACTED IMMEDIATELY TO MAKE AN EVALUATION OF THE FIND AND REPORT TO PRMD. PRMD STAFF MAY CONSULT AND/OR NOTIFY THE APPROPRIATE TRIBAL REPRESENTATIVE FROM TRIBES KNOWN TO PRMD TO HAVE INTERESTS IN THE AREA. ARTIFACTS ASSOCIATED WITH PREHISTORIC SITES INCLUDE HUMANLY MODIFIED STONE, SHELL, BONE OR OTHER CULTURAL MATERIALS SUCH AS CHARCOAL, ASH AND BURNED ROCK INDICATIVE OF FOOD PROCUREMENT OR PROCESSING ACTIVITIES. PREHISTORIC DOMESTIC FEATURES INCLUDE HEARTHES, FIREPITS OR HOUSE FLOOR DEPRESSIONS WHEREAS TYPICAL MORTUARY FEATURES ARE REPRESENTED BY HUMAN SKELETAL REMAINS. HISTORIC ARTIFACTS POTENTIALLY INCLUDE ALL BY-PRODUCTS OF HUMAN LAND USE GREATER THAN 50 YEARS OF AGE INCLUDING TRASH PITS OLDER THAN FIFTY YEARS OF AGE. WHEN CONTACTED, A MEMBER OF PRMD PROJECT REVIEW STAFF AND THE ARCHAEOLOGIST SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP AND COORDINATE PROPER PROTECTION/MITIGATION MEASURES REQUIRED FOR THE DISCOVERY. PRMD MAY REFER THE MITIGATION/PROTECTION PLAN TO DESIGNATED TRIBAL REPRESENTATIVES FOR REVIEW AND COMMENT. NO WORK SHALL COMMENCE UNTIL A PROTECTION/MITIGATION PLAN IS REVIEWED AND APPROVED BY PRMD PROJECT REVIEW STAFF. MITIGATIONS MAY INCLUDE AVOIDANCE, REMOVAL, PRESERVATION AND/OR RECORDATION IN ACCORDANCE WITH CALIFORNIA LAW. ARCHEOLOGICAL EVALUATION SHALL AT THE OWNER/DEVELOPER'S SOLE EXPENSE. IF HUMAN REMAINS ARE ENCOUNTERED, ALL WORK MUST STOP IN THE IMMEDIATE VICINITY OF THE DISCOVERED REMAINS AND A PRMD STALL, COUNTY CORONER AND A QUALIFIED ARCHAEOLOGIST MUST BE NOTIFIED IMMEDIATELY SO THAT AN EVALUATION CAN BE PERFORMED. IF THE REMAINS ARE DEEMED TO BE NATIVE AMERICAN, THE NATIVE AMERICAN HERITAGE COMMISSION MUST BE CONTACTED BY THE CORONER SO THAT A "MOST LIKELY DESCENDANT" CAN BE DESIGNATED AND THE APPROPRIATE PROVISIONS OF THE CALIFORNIA GOVERNMENT CODE AND CALIFORNIA PUBLIC RESOURCES CODE WILL BE FOLLOWED.
- SHOULD GRADING OPERATIONS ENCOUNTER HAZARDOUS MATERIALS, OR WHAT APPEAR TO BE HAZARDOUS MATERIALS, STOP WORK IMMEDIATELY IN THE AFFECTED AREA AND CONTACT 911 OR THE APPROPRIATE AGENCY FOR FURTHER INSTRUCTIONS.
- RETAINING WALLS, UNLESS EXEMPTED PER SCC 7.13(A)(3)4, ARE NOT APPROVED UNDER A GRADING PERMIT. A SEPARATE BUILDING PERMIT IS REQUIRED.
- EQUIPMENT SHALL NOT CROSS OR DISTURB CHANNELS OF ACTIVELY FLOWING STREAMS WITHOUT PRMD APPROVED ROILING PERMIT AND BEST MANAGEMENT PRACTICES (SCC 23.1 AND 11.04.1100)
- GRADING AND DRAINAGE IMPROVEMENTS SHALL BE SET BACK FROM STREAMS, LAKES, PONDS AND WETLANDS IN COMPLIANCE WITH THE REQUIREMENTS OF SCC 11.16.120, 11.16.130, AND 11.16.140. EXISTING VEGETATION SHALL BE RETAINED IN STREAM SETBACK AREAS TO FILTER SOIL AND OTHER POLLUTANTS CARRIED IN STORMWATER.
- EXCESS SOIL SHALL BE REMOVED FROM THE SITE UNLESS DEPICED TO REMAIN ON SITE PER THE APPROVED PLAN. THE SITE RECEIVING SOIL MAY REQUIRE A GRADING PERMIT UNLESS EXEMPTED BY SCC 11.04.020.
- CONTOURS, ELEVATIONS, AND SHAPES OF FINISHED SURFACES SHALL BE BLENDED WITH ADJACENT NATURAL TERRAIN TO ACHIEVE A CONSISTENT GRADE AND NATURAL APPEARANCE. THE TOP OF CUT SLOPES SHALL BE ROUNDED OFF TO BLEND WITH THE NATURAL TERRAIN. BORDERS OF CUT SLOPES AND FILLS SHALL BE ROUNDED OFF TO A MINIMUM RADIUS OF 5 FEET TO BLEND WITH THE NATURAL TERRAIN.

- FILL MATERIAL SHALL NOT INCLUDE ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIALS. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL GREATER THAN 6 INCHES IN ANY DIMENSION SHALL BE INCLUDED IN FILLS EXCEPT WHERE APPROVED BY THE SOILS ENGINEER. FILLS SHALL BE CONSTRUCTED IN LIFTS NOT EXCEEDING 8 INCHES IN DEPTH. COMPLETED FILLS SHALL BE STABLE, WELL-INTEGRATED, AND BONDED TO ADJACENT MATERIALS AND THE MATERIALS ON WHICH THEY REST. FILLS SHALL BE COMPETENT TO SUPPORT ANTICIPATED LOADS AND BE STABLE AT THE DESIGN SLOPES SHOWN ON THE APPROVED PLANS AND SPECIFICATIONS OR AS DIRECTED BY THE SOILS ENGINEER.
- GROUND SURFACES SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL, AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL.
- FILL SHALL NOT BE PLACED ON NATURAL SLOPES STEEPER THAN 2H:1V (50%).
- FILLS INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM O 1557, MODIFIED PROCTOR. A HIGHER COMPACTION PERCENTAGE MAY BE REQUIRED BY THE SOILS ENGINEER.
- FILLS NOT INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED AS FOLLOWS:
 - FILL GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY SPECIFIED BY THE SOILS ENGINEER.
 - FILLS NO GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY NECESSARY FOR THE INTENDED USE OR AS DIRECTED BY THE SOILS ENGINEER.
- IN THE EVENT CULTURAL RESOURCES (THAT IS, HISTOTICAL, ARCHAEOLOGICAL AND PALEONTOLOGICAL RESOURCES AND HUMAN REMAINS) ARE DISCOVERED DURING GRADING OR OTHER ACTIVITIES, WORK SHALL IMMEDIATELY BE HALTED WITHIN THE VICINITY OF THE FIND. THE NORTHWEST INFORMATION CENTER SHALL BE NOTIFIED AT (707) 664-0880. A QUALIFIED ARCHEOLOGIST SHALL BE CONSULTED FOR AN ON-SITE EVALUATION. ADDITIONAL MITIGATION MAY BE REQUIRED BY THE COUNTY PER THE ARCHEOLOGIST'S RECOMMENDATIONS AND S.C.C 11.16.1000. IF HUMAN BURIALS OR HUMAN REMAINS ARE ENCOUNTERED, THE CONTRACTOR SHALL ALSO NOTIFY THE COUNTY CORONER AT (707) 565-5070.

GRADING AND DRAINAGE INSPECTION NOTES

- THE PERMITTEE AND THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE WORK TO BE PERFORMED IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND ANY PERMIT CONDITIONS. WORK SHALL BE SUBJECT TO INSPECTION AS REQUIRED BY THE PERMIT AUTHORITY, PRMD, TO VERIFY COMPLIANCE. THE CONTRACTOR SHALL CONSULT THE PROJECT JOB CARD FOR COORDINATION OF INSPECTION REQUESTS.
- PRIOR TO THE START OF ANY GRADING WORK, THE PERMITTEE SHALL HAVE A PRE-CONSTRUCTION CONSULTATION WITH PRMD STAFF TO DISCUSS THE SCOPE OF THE PROJECT, PERMIT CONDITIONS, REQUIRED INSPECTIONS, APPROPRIATE APPLICATION OF BEST MANAGEMENT PRACTICES (BMP'S) AND ANY OTHER CONSTRUCTION ISSUES.
- INSPECTION REQUESTS SHALL BE MADE THROUGH THE SONOMA COUNTY AUTOMATED INSPECTION REQUEST SYSTEM (SELECTRON), 707-565-3551. SELECTRON ALLOWS SCHEDULING AND CANCELING OF INSPECTIONS FROM 6:00 AM TO 12:00 AM, 7 DAYS A WEEK.
- PRMD MAY REQUIRE PROFESSIONAL INSPECTIONS AND CERTIFICATIONS TO VERIFY PROPER COMPLETION OF THE WORK. WHERE THE USE OF PROFESSIONAL PERSONNEL IS REQUIRED, THESE PERSONNEL SHALL IMMEDIATELY REPORT IN WRITING TO PRMD AND THE PERMITTEE ANY INSTANCE OF WORK NOT IN COMPLIANCE WITH THE APPROVED PLANS, SPECIFICATIONS, OR ANY PERMIT CONDITIONS. IF PROFESSIONAL PERSONNEL IS CHANGED DURING THE COURSE OF THE WORK, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT INDIVIDUAL HAS NOTIFIED PRMD IN WRITING OF THEIR AGREEMENT TO ACCEPT RESPONSIBILITY FOR APPROVAL OF THE COMPLETED WORK WITHIN THE AREA OF THEIR TECHNICAL COMPETENCE.
- PRMD SHALL FINAL A PERMIT WHEN ALL WORK, INCLUDING THE INSTALLATION OF ALL DRAINAGE IMPROVEMENTS AND THEIR PROTECTIVE DEVICES, AND ALL STORM WATER BEST MANAGEMENT PRACTICES, HAVE BEEN COMPLETED IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND ALL FINAL REPORTS REQUIRED BY SEC 11.14.04 HAVE BEEN SUBMITTED AND ACCEPTED. FINAL REPORTS MAY INCLUDE: AS-BUILT PLANS, TESTING RECORDS, PROFESSIONAL OPINIONS, AND DECLARATIONS ABOUT COMPLETED WORK FROM PROFESSIONAL PERSONNEL, SIMILAR REPORTS MAY BE REQUIRED AT OTHER STAGES OF THE WORK.
- THE PERMITTEE SHALL PROVIDE ADEQUATE AND SAFE ACCESS TO THE SITE FOR INSPECTION DURING THE PERFORMANCE OF ALL WORK.
- DURING CONSTRUCTION ACTIVITIES, THE PROJECT SITE ADDRESS SHALL BE POSTED AS FOLLOWS:
 - THE STREET NUMBERS MUST BE AT LEAST FOUR INCHES TALL, WITH A REFLECTIVE SURFACE.
 - THE ADDRESS MUST BE VISIBLE FROM BOTH DIRECTIONS ALONG THE ROAD.
 - THE ADDRESS MUST BE POSTED AT ALL FORKS IN ANY ACCESS ROAD AND AT THE SITE.

Revisions	By

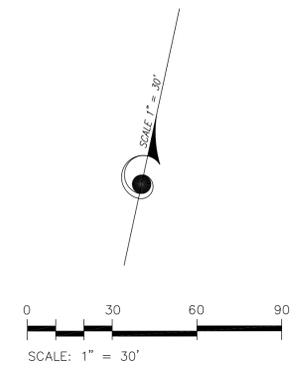
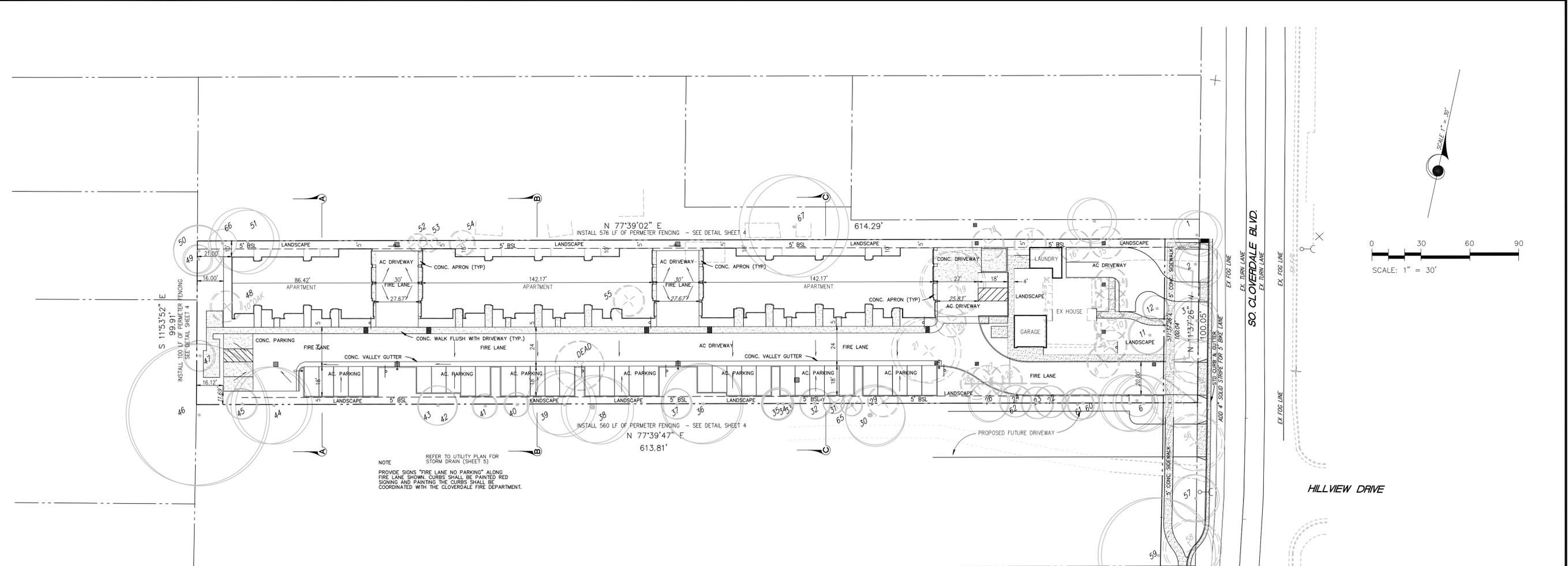

 SUBMITTED

BAECHTEL HUDIS
 CONSULTING CIVIL ENGINEERS & PLANNERS

 131 STONY CIRCLE, SUITE 1000
 SANTA ROSA, CALIF. 95401
 (707) 542-8795

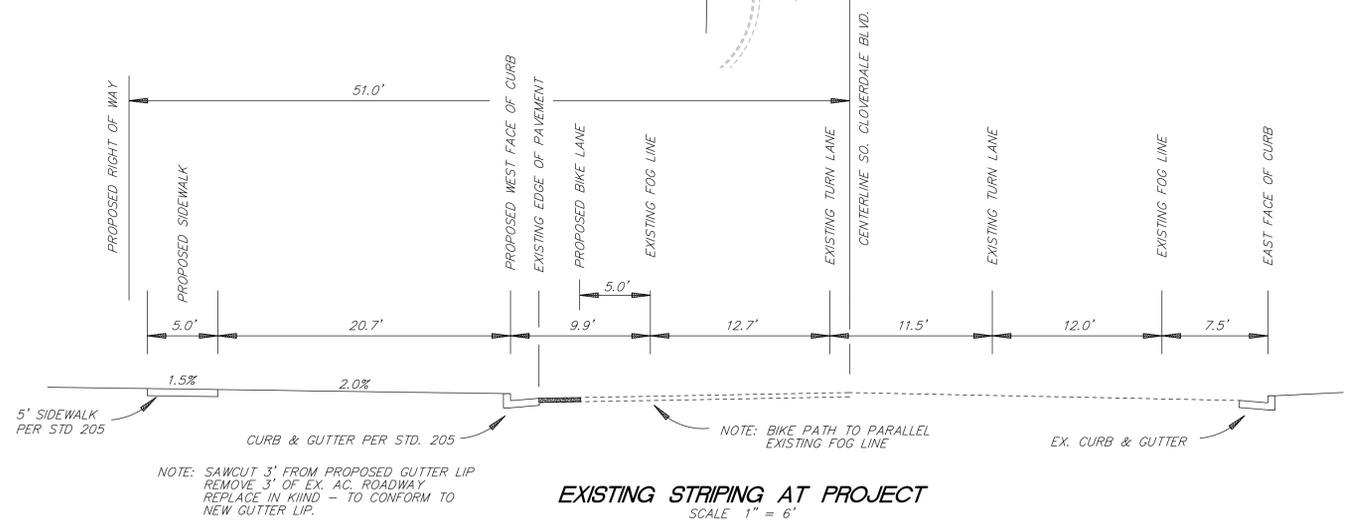
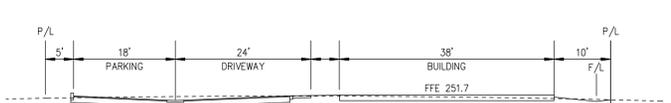
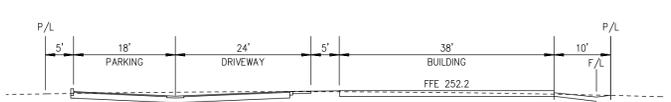
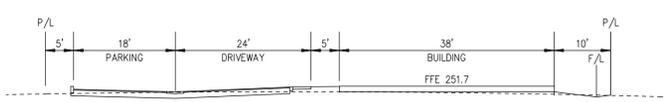
IMPROVEMENT PLANS FOR
THE BOULEVARD
 699 SOUTH CLOVERDALE BLVD., CLOVERDALE, CALIFORNIA
 CONSTRUCTION NOTES

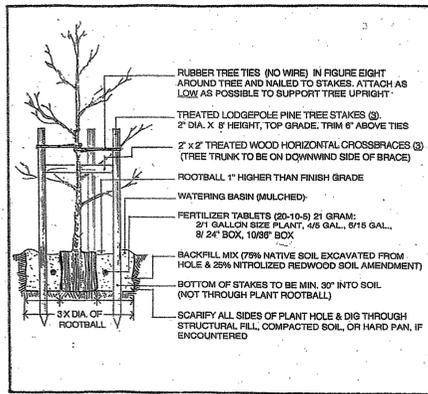
Date	MAY 4, 2016
Scale	NONE
Drawn	KLC
Design	KLC
SHEET	2
of	6 Sheets
Job	15022



TREE LIST

NUMBER	SPECIES	DIAMETER	RECOMMENDATION
1	OLIVE	18	SAVE
2	OLIVE	18	SAVE
3	OLIVE	18	SAVE
4	OLIVE	13	SAVE
5	RDW	14,16	SAVE
6	L.OAK	7,13	SAVE
7	L.OAK	12	SAVE
8	APPLE	10	REMOVE
9	PRIVET	4,7,8	REMOVE
10	PRIVET	4,6	REMOVE
11	L.OAK	17	SAVE
12	L.OAK	10	REMOVE
13	PRIVET	8	REMOVE
14	PRIVET	8	REMOVE
15	OLIVE	6	REMOVE
16	OLIVE	8	REMOVE
17	OLIVE	3,4	REMOVE
18	OLIVET	6-6	REMOVE
19	E.WALNUT	20	REMOVE
20	E.WALNUT	12	REMOVE
21	EUCALYPTUS	21	REMOVE
22	L.OAK	8	SAVE
23	L.OAK	16	SAVE
24	OLIVE	10	SAVE
25	M.FAN	14	REMOVE
26	L.OAK	15	SAVE
27	RWD	14	REMOVE
28	EUCALYPTUS	13	REMOVE
29	L.OAK	8,8	SAVE
30	L.OAK	7	SAVE
31	OLIVE	6	SAVE
32	L.OAK	1	SAVE
33	V.OAK	8	SAVE
34	C.OAK	8	SAVE
35	L.OAK	10	SAVE
36	L.OAK	29	SAVE
37	L.OAK	6	SAVE
38	L.OAK	7,10,11	SAVE
39	L.OAK	23	SAVE
40	L.OAK	6	SAVE
41	V.OAK	6	SAVE
42	L.OAK	14	SAVE
43	OLIVE	12	SAVE
44	L.OAK	28	SAVE
45	L.OAK	8	SAVE
46	V.OAK	38	SAVE
47	L.OAK	7	SAVE
48	L.OAK	10	REMOVE
49	L.OAK	12,13	SAVE
50	L.OAK	6	SAVE
51	L.OAK	18	SAVE
52	L.OAK	6,7	REMOVE
53	L/OAK	7	REMOVE
54	MIMOSA	6,7	REMOVE
55	MIMOSA	48	REMOVE
56	L.OAK	16	SAVE
57	L.OAK	12	REMOVE
58	OLIVE	16@3'	SAVE
59	L.OAK	10,11,11,14,21	SAVE
60	L.OAK	6	SAVE
61	L.OAK	5	REMOVE
62	L.OAK	5	REMOVE
63	L/OAK	6,4	REMOVE
64	L.OAK	6	REMOVE
65	OLIVE	6	SAVE
66	MIMOSA	6	SAVE
67	L.OAK	48	SAVE





PLANTING & TREE STAKING DETAIL

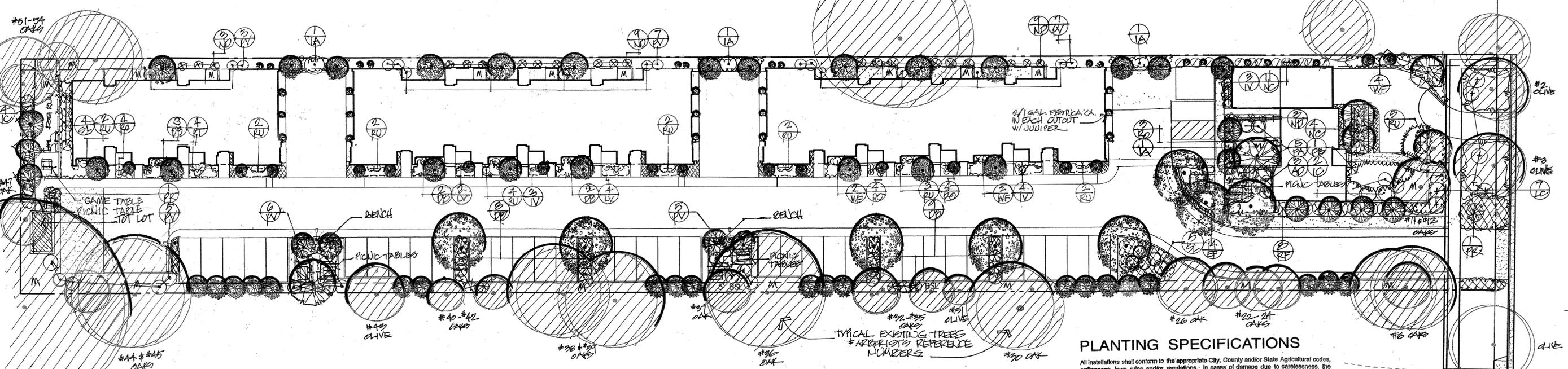
PLANTING NOTES

- If any landscape areas are 'lime treated', remove all soil in these areas to a depth of three (3) feet and replace with stockpiled onsite topsoil or amended sandy loam topsoil, from a source approved by the Landscape Architect (submit samples).
- Triple stake with cross braces boxed trees.
- Maintain grades & drainage swales in all landscape areas per the Civil Engineer's plans, allowing for the required three (3) inches of mulch (see Specifications). Review all utility and underground plans prior to trenching or digging plant holes and relocate plants slightly to avoid conflicts.
- No substitution of plant species or varieties, or their specified sizes, shall be allowed without the written approval of the Landscape Architect. Any incorrect species or varieties shipped to the site, or any plant rejected by the L. A. for poor size or quality, shall be returned at no cost to the Owner or L. A. Any change in plant species may cause all WELO calculations to be redone.
- Incorporate RSA (Nitrolized Redwood Sawdust) soil amendment into the soil a minimum depth of 8" at a minimum rate of 6 cubic yards per 1,000 square feet or per specific amendment recommendations from a soils laboratory report.
- Upon completion of the installation, the contractor shall submit to the City Inspector, a complete and signed, by both Landscape Architect & Landscape Contractor, a 'Certificate of Completion' stating that the project has been installed as designed. This shall be accompanied by an irrigation audit, irrigation schedule and a maintenance schedule as described in Cloverdale's WELO ordinance and prepared by the Land. Contr.
- See tree protection zones and measures, for existing trees that are to remain onsite and for neighboring trees within 20' of the project site, in Arborist's Report.
- All trees within 5' of pavement, curbs, foundations, etc. shall have root barriers (18" deep) installed for 5' in both/all directions from the tree trunk.

PARKER SMITH
LANDSCAPE ARCHITECT
1946 PINER RD. #25, SANTA ROSA, CA 95403
(707) 477-7502

Drawn [Signature]
Designed [Signature]
Checked [Signature]
Date 2-13-14
Scale 1" = 10'

50 CLOVERDALE BLVD.
PLANTING PLAN
CLOVERDALE APARTMENTS
699 SOUTH CLOVERDALE BLVD.
CLOVERDALE, CA



PLANT LEGEND

ABBR.	PLANT SPECIES (Botanical & Common Names)	SIZE	NOTES	WATER USE (per WUI.COLS)
TREES				
	<i>Acer platanoides</i> 'Crimson Sentry'	15 Gal.	Standard	Moderate
	Upright Norway Maple	24" Box	Low Standard	Low
	<i>Dodonaea viscosa</i> 'Purpurea'	24" Box	Standard	Low
	Marina Strawberry Tree	24" Box	Standard	Low
	<i>Lagerstroemia Hybrid</i> 'Tuscarora'	15 Gal.	Standard	Low
	Tuscarora Crape Myrtle (Salmon Pink)	15 Gal.	Standard	Low
	<i>Pistacia chinensis</i> 'Keith Davey'	15 Gal.	Low Standard	Moderate
	Chinese Pistache (male trees only)	15 Gal.	Low Standard	Moderate
	<i>Podocarpus gracilior</i>	15 Gal.	Standard	Low
	Fern Pine	15 Gal.	Standard	Low
	<i>Pinus caroliniana</i> 'Vesuvius'	15 Gal.	Standard	Low
	Purple Plum 'Vesuvius'	24" Box	Standard	Low
	<i>Quercus ilex</i>	24" Box	Standard	Low
	Holly Oak			
SHRUBS / TREES				
	<i>Juniperus chinensis</i> 'Skyrocket'	15 Gal.	Natural Form	Low
	Very Narrow, Upright Juniper	15 Gal.	Natural Form	Low
	<i>Prunus lyonii</i>	15 Gal.	Natural Form	Low
	Catalina Island Cherry			
SHRUBS & LARGE GRASSES				
AD	<i>Arctostaphylos densiflora</i> 'Howard McMinn'	5 Gal.	Low	
	McMinn Manzanita	5 Gal.	Low	
DB	<i>Dietes bicolor</i>	5 Gal.	Low	
DF	Yellow Fountains Lily	5 Gal.	Low	
EA	<i>Escallonia 'Frodo'</i>	5 Gal.	2" c.c. for Hedge	Moderate
IB	Pink Escallonia	5 Gal.	Low	
IA	<i>Ilex aquifolium</i> 'San Jose'	5 Gal.	Low	
	San Jose English Holly	5 Gal.	Low	
IC	<i>Ilex cornuta</i> 'Dazzler'	5 Gal.	Low	
	Chinese Holly	5 Gal.	Low	
IV	<i>Ilex vomitoria</i> 'Nana'	5 Gal.	Low	
	Dwarf Yaupon Holly	5 Gal.	Low	
LC	<i>Loropetalum chinensis</i> 'Sizzling Pink' or 'Burgundy'	5 Gal.	Low	
	Purple-leaf Loropetalum	5 Gal.	Low	
LV	<i>Lavandula stoechas</i> 'Hazel' or 'Winter Bee'	1 Gal.	Low	
	Spanish Lavender	5 Gal.	Low	
MC	<i>Muhlenbergia capillaris</i> 'Regal Mist'	5 Gal.	Low	
	Hairy Awn Muhly Grass	5 Gal.	Low	
NC	<i>Nandina domestica</i> 'Compacta'	5 Gal.	Low	
	Compact Heavenly Bamboo	5 Gal.	Low	
ND	<i>Nandina domestica</i>	5 Gal.	Low	
	Heavenly Bamboo	5 Gal.	Low	
PA	<i>Plumbago auriculata</i> 'Imperial Blue' or 'Royal Cape'	5 Gal.	Low	
	Cape Plumbago			

PR	<i>Pennisetum setaceum</i> 'Rubrum'	5 Gal.	Low
	Purple Fountain Grass	5 Gal.	Low
PT	<i>Pittosporum tobira</i> 'Creme-de-Mint'	5 Gal.	Low
	Dwarf Variegated Tobira	5 Gal.	Low
PV	<i>Pittosporum tobira</i> 'Variegata'	5 Gal.	Low
	Variegated Tobira	2/5 Gal.	Moderate
RF	<i>Rosa</i> 'Flower Carpet 'Single Red'	5 Gal.	Low
	Prostrate Flower Carpet Rose	5 Gal.	Low
RO	<i>Rosmarinus officinalis</i> 'Ingram'	5 Gal.	Low
	Ingram's Rosemary	5 Gal.	Low
RU	<i>Rhaphiolepis umbellata</i> 'Minor'	5 Gal.	Low
	Dwarf Indian Hawthorn	5 Gal.	Low
SL	<i>Salvia leucantha</i> 'Santa Barbara'	5 Gal.	Low
	Compact Mexican Bush Sage	5 Gal.	Low
WF	<i>Westringia fruticosa</i> 'Wynabbie Gem'	5 Gal.	Low
	New Zealand Rosemary		

GROUND COVERS & GRASSES			
	<i>Arctostaphylos</i> 'Emerald Carpet'	1 Gal. @ 4' c.c.	Low
	Emerald Carpet Manzanita	1 Gal. @ 3' c.c.	Low
	<i>Cotoneaster dammeri</i> 'Coral Beauty'	1 Gal. @ 2' c.c.	Low
	Creeping Cotoneaster	1 Gal. @ 18" c.c.	Low
	<i>Eriogon karwinskianus</i>	1 Gal. @ 15" c.c.	Low
	Mexican/Santa Barbara Daisy	1 Gal. @ 2' c.c.	Low
	<i>Festuca californica</i> 'Serpentine Blue' or 'Philly Silver'	1 Gal. @ 18" c.c.	Low
	Blue CA Fescue Grass	1 Gal. @ 15" c.c.	Low
	<i>Kniphofia</i> 'Dwarf Yellow' or 'Little Maid'	1 Gal. @ 2' c.c.	Low
	Prostrate Juniper	1 Gal. @ 2' c.c.	Low
	<i>Lantana montevidensis</i>	1 Gal. @ 2' c.c.	Low
	Purple Lantana	1 Gal. @ 30" c.c.	Low
	<i>Lantana montevidensis</i> 'White'	1 Gal. @ 18" c.c.	Low
	White Lantana		
	<i>Muhlenbergia filipes</i>		
	Purple muhly grass		
	<i>Stipa (Nassella) tenuissima</i>		
	Mexican Feather Grass		
M	Mulch Only		

PLANTING SPECIFICATIONS

All installations shall conform to the appropriate City, County and/or State Agricultural codes, ordinances, laws, rules and/or regulations. In cases of damage due to carelessness, the Contractor shall forfeit an amount in proportion to the extent of damage determined by the Landscape Architect.

All materials shall be new and as indicated on the drawing, details and/or as specified herein. All plants shall be healthy, shapely, well-rooted (not root-bound or with knined or circling roots), free from insects, pests or plant diseases and properly 'hardened off'. All plants shall be labeled as to species and nursery in which they were purchased or originated. All plants shall be exactly as designated in the Plant Legend as to species, size, form, etc. No plant substitutions will be acceptable without the written approval of the Landscape Architect. No bare-root ground covers will be accepted. Trees shall be nursery grown container stock of first quality. Trees will not be accepted, which have had their leaders cut or which have leaders damaged so that pruning is necessary. No trees shall be accepted that will not stand on their own trunk after the nursery stakes has been removed. Pruning shall not be done except as directed by the Landscape Architect. Tree stakes shall be treated lodgepole pine stakes, top grade, and of the diameter and length indicated on the detail. Cross braces shall be fir or pine.

All areas to be planted shall have a minimum of 12" of non-compacted, well draining topsoil. If topsoil is needed in any area, it shall be 'amended topsoil' as available from United Forest Products, Santa Rosa, CA. In cases of damage due to carelessness, the Contractor shall forfeit an amount in proportion to the extent of damage determined by the Landscape Architect. In cases of damage due to carelessness, the Contractor shall forfeit an amount in proportion to the extent of damage determined by the Landscape Architect. In cases of damage due to carelessness, the Contractor shall forfeit an amount in proportion to the extent of damage determined by the Landscape Architect.

Any existing weeds shall be removed and a pre-emergent weed killer shall be applied to all newly planted areas. All plants, and the areas between them, shall be mulched with redwood chips called 'Golden Nuggets' as distributed by United Forest Products, Santa Rosa, or Sunup Products, Sacramento, CA. The mulch shall be evenly and uniformly spread to a three (3) inch depth.

Upon completion of the landscape installation, the Contractor shall request the Landscape Architect to review the installation and grant Preliminary Acceptance. If the Landscape Architect finds deficiencies, the Contractor shall have five (5) days to correct these. Upon acceptance by the Landscape Architect and the Owner, the Contractor shall start his sixty (60) calendar day Establishment Maintenance Period. During this period he shall maintain all plantings in a healthy growing condition, shall keep all areas weed-free and clear; shall make any adjustments to the irrigation system as necessary to have it function correctly; and shall replace immediately any plants that die, are damaged, or appear weak and are not thriving in their new environment. At the completion of this period, if all improvements are acceptable, Final Acceptance will be granted by the Landscape Architect and/or Owner and the Owner will assume responsibility for ongoing maintenance. If unacceptable, the Contractor shall have five (5) working days to correct any and all deficiencies and request another review.

The irrigation system, materials and installation work and all plant material shall be guaranteed for a one year period following Final Acceptance of the project. Improper watering and/or maintenance procedures during this period that result in the death or damage to plant material will relieve the Contractor of his responsibilities under this guarantee.

Revision	Date	By

Prepared under the Direction of
[Signature]
Sheet No. L-1 of 2
Job No. 14/13

M.A.W.A. TABLE

The following calculations will help you determine your site specific water budget and establish a planting site that will allow you to meet your water budget. Your Estimated Total Water Use may be less than your Maximum Applied Water Allowance.

Maximum Applied Water Allowance (MAWA)

MAWA = (ET₀ × LA) + (I × SA) + (P × SA)

Where:

- ET₀ = Annual Net Surface Evapotranspiration (inches)
- I = FT Adjustment Factor
- LA = Landscaped Area (square feet)
- SA = Surface Area (square feet)
- P = Precipitation (inches)

Adjusted Landscaped Area Calculation

Adjusted Landscaped Area = LA × (1 - ET₀ × 0.0008)

Adjusted Surface Area Calculation

Adjusted Surface Area = SA × (1 - P × 0.0008)

MAWA = 28.91 × 0.62 × 1098.4 + 0.017 × 0.89 × 14018.0 = 20377.0

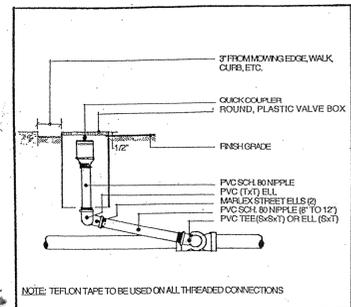
HYDROZONE TABLE FOR ALL VALVES

LOT #1 VALVE NO.	IRRIG. METHOD	PLANT TYPE/WATER USE RATING	G.E.M. IRRIG.	AREA LANDSCAPE	% OF AREA
T1	DRIP	LOW/TREES	2.7±	3,246 S.F.	18%
T2	DRIP	MODERATE/TREES	2.2±	2,381 S.F.	13%
T3	DRIP	LOW/TREES	1.0±	1,542 S.F.	8%
D1	DRIP	LOW/SHRUBS & G.C.	7.6±	1,505 S.F.	8%
D2	DRIP	MODERATE/SHRUBS & G.C.	3.1±	1,195 S.F.	6%
D3	DRIP	LOW/SHRUBS & G.C.	5.3±	1,778 S.F.	10%
D4	DRIP	LOW/SHRUBS & G.C.	8.3±	1,227 S.F.	7%
D5	DRIP	LOW/SHRUBS & G.C.	6.8±	1,028 S.F.	5%
D6	DRIP	LOW/SHRUBS & G.C.	1.6±	836 S.F.	3%
D7	DRIP	LOW/SHRUBS & G.C.	2.3±	1,222 S.F.	7%
D8	DRIP	LOW/SHRUBS & G.C.	6.8±	1,028 S.F.	6%
D9	DRIP	LOW/SHRUBS & G.C.	9.0±	965 S.F.	5%
D10	DRIP	LOW/SHRUBS & G.C.	6.2±	920 S.F.	5%
				18,474 S.F.	100%

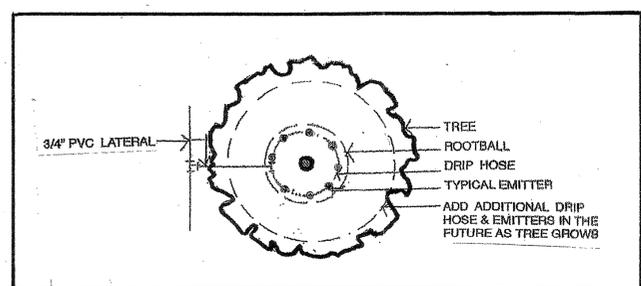
TOTAL IRRIGATED LANDSCAPE AREA = 18,474 SQ. FT.
Tree areas calculated at sizes shown on plan (10-15 years old±)

SUMMARY HYDROZONE TABLE

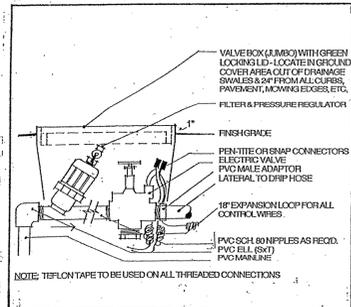
PLANT TYPE	AREA	% OF LANDSCAPE
LOW WATER USE	14,898 S.F.	81%
MODERATE WATER USE	3,576 S.F.	19%
TOTALS	18,474 S.F.	100%



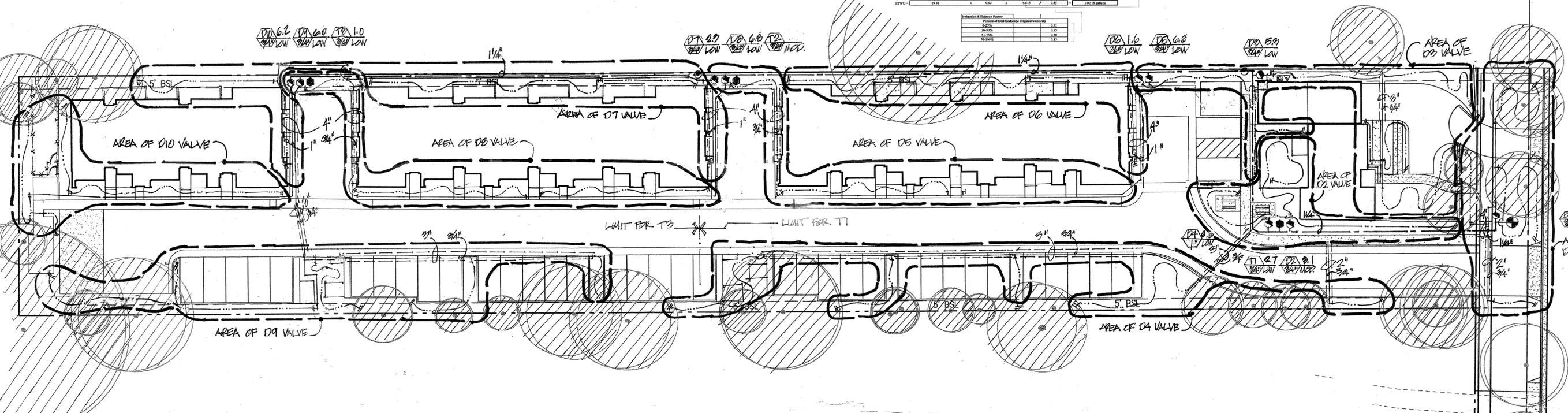
QUICK COUPLER



TYPICAL TREE EMITTERS LOCATION DETAIL



DRIP VALVE DETAIL



IRRIGATION LEGEND

SYMBOL	EQUIPMENT	MANUF'R	MODEL NO.(S)
	REMOTE CONTROL VALVE (TREES)	IRRITROL	700 SERIES w/OMR 100 PRESSURE REDUCER & Y-TYPE FILTER (120 MESH)
	REMOTE CONTROL VALVE (G.C.)	IRRITROL	700 SERIES w/OMR 100 PRESSURE REDUCER & Y-TYPE FILTER (120 MESH)
	MANUAL VALVE	---	BALL VALVE IN BOX (SIZE SAME AS MAINLINE)
	MAIN LINE	PVC SCH. 40	18" OF COVER
	LATERAL LINE	PVC SCH. 40	12" OF COVER
	SLEEVE	PVC SCH. 40	18" OF COVER
	DRIP HOSE LINE	5/8" POLYHOSE	AT GROUND LEVEL, MULCH OVER
	DRIP HOSE END	FIGURE 8 COUPLING IN SMALL, ROUND VALVE BOX	
	P. O. C. WITH PVC MANUAL VALVE, ATMOSPHERIC VACUUM BREAKER & PRIVATE WATER METER	DLJ-100	PER CITY STD. 'SUB-METER/SOLARION VALVE DET.'
	CONTROLLER - 13 STATION ET/RAIN/FREEZE DEVICE	HUNTER	PC-4 + 3/PCM-300 MODULES FOR 13 STATIONS SOLAR SYNC, WIRELESS - WSS-SEN
	CONTROLLER STATION / G.P.M. VALVE SIZE / WATER USE		

IRRIGATION NOTES

- IRRIGATION SYSTEM IS DESIGNED TO OPERATE ON 40 TO 95 P.S.I. AT THE P.O.C. MAXIMUM G.P.M. IS 18± PER CIRCUIT (FLUSH CYCLE). ADJUST VALVES PRESSURE REGULATORS TO PROVIDE OPTIMUM OPERATING PRESSURE AT DRIP EMITTERS/MICRO SPRAYS PER MANUFACTURER'S RECOMMENDATIONS.
- INSTALL SOLAR SYNC DEVICE ON FACIA & ADJUST SENSOR TO TURN OFF SYSTEM IN MODERATE TO HEAVY RAINFALL, NOT LIGHT RAINFALL. MOUNT OUTSIDE ANY ROOF OVERHANG.
- SEE CIVIL ENGINEER'S PLANS FOR SPECIFIC LOCATIONS OF UNDERGROUND UTILITY, STORM DRAIN LINES, ETC. THAT OCCUR WITHIN LANDSCAPE AREAS & CONFIRM THE DEPTH OF THESE WITH GENERAL CONTRACTOR PRIOR TO TRENCHING.
- RUN PVC SCH. 40 CONDUIT FOR LOW VOLTAGE WIRES FROM CONTROLLER INTO TRENCH. PAINT TO MATCH WALL COLOR(S).
- ALSO SEE 'PLANTING NOTES' ON SHEET L-1.
- ALL UNMARKED LATERAL LINES TO BE 3/4".
- HAND DIG ALL TRENCHES WITHIN DRIP LINES OF EXISTING TREES. DEPTH MAY BE REDUCED TO 12" FOR MAINLINE & 6" FOR LATERALS.
- INSTALL A QUICK COUPLER VALVE WITH EACH GROUP OF VALVES.
- LATERALS SHALL BE RUN FROM EACH TREE VALVE TO THE APPROPRIATE TREES THEY ARE TO WATER (T1 - LOW WATER USE TREES IN FRONT HALF ± OF SITE; T2 - MODERATE W. U. TREES ALONG NORTH PROPERTY EDGE & FRONTS OF APARTMENT BUILDINGS; T3 - LOW W.U. TREES IN REAR HALF ± OF SITE). LINES SHALL ALL BE 3/4" PVC AND THESE ARE NOT SHOWN ON THE PLAN (SLEEVES ARE SIZED TO ALLOW FOR THESE).

IRRIGATION SPECIFICATIONS

All materials shall be new and as indicated on the drawing, legend, details and/or as specified herein. Control wire shall be UF #14-1 (white for ground and color for control wires). Wire connections shall be "nutless" or approved equal. All changes in pipe sizes shall be by a manufactured PVC Schedule 40 fitting. Connections between main lines and all valves shall be PVC Schedule 80. Substitutions for the irrigation materials must be approved by the Landscape Architect. Written submittals (2 copies) must be submitted to the Contractor may the Contractor proceed with the substitution. System layout is diagrammatic. The Contractor shall change or adjust the system to meet the actual field conditions and to comply with the intent of the drawings and specifications.

All trenches shall be open vertical construction sufficiently wide to provide ample working space and depths as specified. PVC pipe may be made up on the surface and then laid in the trench. Lateral pipe trenches for all lateral pipe shall be a minimum depth of 12" unless lesser depth is approved by the Landscape Architect. Main line pipe trenches shall have a minimum of 18" cover. All rubbish and large rocks shall be removed from the trenches. Pipe shall have a firm, uniform bearing for the entire length of each pipe line to prevent uneven settlement. Wedging or blocking of pipe will not be permitted. The trenches shall be padded with dirt or sand if the soil is extremely rocky. PVC pipe shall never be laid when there is water in the trench. PVC pipe shall be staked from side to side of trench bottom to allow for expansion and contraction. All foreign matter or dirt shall be removed from inside the pipe before welding, and piping shall be kept clean during and after laying of pipe. All threaded connections shall be made with Teflon tape. No field threading of plastic pipe or fittings permitted. The trenches shall be carefully backfilled with the excavated materials approved for backfilling, consisting of earth, loam, sandy clay, sand or other approved materials, free from large clods of earth or stones. Trenches or piping in landscaped areas shall be compacted to equal the compaction of the existing adjacent undisturbed soil and shall be left in a firm unyielding condition; flush with the surrounding grade. Settling the backfill with water will be permitted.

Pipes, sprinkler heads, emitters and equipment shall be located as shown on the drawing except where existing conditions prohibit, or slight changes are approved by the Landscape Architect to better suit field conditions and to achieve as good, or better coverage under the same conditions.

Remote control valves shall be installed where shown on drawings and per details. When grouped together, allow at least 12" between valves. Install each remote control valve in a separate valve box. Remote control valves shall not be placed in drainage swales, low areas, or areas where they may be damaged or may create a hazard. Control wires shall be installed in common trenches with the piping whenever possible. Install at least 18" deep. Bundle wires together and tape at 10' intervals. Provide 18" expansion loop at remote control valves and snake wires in trench to allow for contraction. All wire splices shall be made in the valve boxes only. The automatic controller shall be installed as per manufacturer's instructions. Remote control valves shall be connected to controller in numerical sequence as shown on the drawings. Confirm location of controller with Owner and connect to the electrical (120 volt) supply source (by others).

Pipes, valves, emitters and equipment shall be located as shown on the drawing except where existing conditions prohibit, or slight changes are approved by the Landscape Architect to better suit field conditions and to achieve as good, or better coverage under the same conditions.

- All trees, shrubs, vines and ground covers shall be watered with self-flushing drip emitters, Salco, Agrifin or Olson, per the following schedule:
- 8-1 GPH or 4-2 GPH emitters per 24" box tree
 - 6-1 GPH or 3-2 GPH emitters per 15 gallon tree
 - 4-1 GPH emitters per 5 gallon plant
 - 2-1 GPH emitters per 2 & 1 gallon plants
 - 1-1 GPH emitter per 4" pot, or smaller plant

Emitters shall be installed on opposite sides of the rootball at ground level, not on the crown of the plant. All outlets shall have bug caps installed and be held in position with a drip tubing stake. Drip tubing shall be used between emitter and plant (8" maximum length) and be slightly buried 2" deep. Drip hose shall be held in place with ground staples. No components of the system shall be visible. Ends of the drip hose shall have a figure eight coupling for flushing and be in a small, round valve box.

50. CLOVERDALE BLVD.

IRRIGATION PLAN
CLOVERDALE APARTMENTS
699 SOUTH CLOVERDALE BLVD.
CLOVERDALE, CA

PARKER SMITH
LANDSCAPE ARCHITECT
1946 PINER RD. #25, SANTA ROSA, CA 95403
(707) 477-7502

Drawn [Signature]
Designed [Signature]
Checked [Signature]
Date 2-10-10
Scale 1" = 30'

#	Date	By	Revision

Prepared Under the Direction of:

Sheet No. L-2 of 2
Job No. 10/3

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699 S. CLOVERDALE BLVD.
CLOVERDALE, CA

Arborist's Report

February 3, 2016

Prepared & submitted by:

Becky Duckles, Consulting Arborist
ISA Certified Arborist #WE-0796A

Sebastopol, CA.

707.829.0555 PH.

BECKY DUCKLES
CONSULTING ARBORIST & LANDSCAPE ADVISOR
SEBASTOPOL, CA
707.829.0555 PH bduckles@comcast.net

699 South Cloverdale Blvd
Cloverdale, CA

ARBORIST'S REPORT SUMMARY
February 3, 2016

I have evaluated all trees 5" diameter and larger on this site (and at adjacent property lines) which may be impacted by proposed development. It is a relatively flat site containing a home and outbuildings. There is a mix of mature trees on the site including fruit and nut trees and a few ornamentals as well as some native oaks along the property lines and near the front (S Cloverdale Blvd.). Some olive trees in the front will be preserved as well as the small oaks that can be accommodated, and the trees on adjacent properties will be protected. During this early site design phase I have met with the project architect and engineer as well as the developers to identify key specimens and adapt the site plan to protect them. If desired, some of the mature olive trees which cannot be preserved on site may be transplanted to other locations.

All trees have been identified, measured, rated for condition and structural soundness and listed on the enclosed spreadsheet Tree Inventory & Evaluation. They are numbered for reference in the inventory and site plan. The comments list whether they are to be preserved or removed, and their locations are shown on the civil engineer's project site plan. Tree Protection Measures are also included for observance during construction.

I will continue to work closely with the project team to assess potential construction impact on any existing trees, making recommendations regarding which trees are the highest quality for preservation. Construction alternatives will be proposed, where appropriate, to minimize impact on rootzones and tree crowns.

Please call if there are questions or more information is needed at this time.

Respectfully submitted,

Becky Duckles

Becky Duckles
International Society of Arboriculture, Western Chapter Certified Arborist #WE-0796A

**699 S Cloverdale Blvd
Cloverdale**

TREE #	SPECIES	TRUNK DIAMETER (In.)	GENERAL HEALTH/CONDITION	STRUCTURAL INTEGRITY	CONSTRUCTION IMPACT/RECOMMENDATIONS
1	<i>Olive/Olea europaea</i>	18"	Good/Excellent	Good/Excellent	To be preserved; site has many mature olive trees
2	<i>Olive/Olea europaea</i>	18"	Good/Excellent	Good/Excellent	To be preserved; driveway has been realigned to preserve
3	<i>Olive/Olea europaea</i>	18"	Good/Excellent	Good/Excellent	To be preserved
4	<i>Olive/Olea europaea</i>	13" @ 3'	Good/Excellent	Good/Excellent	To be removed for new entry drive
5	Coast Redwood/ <i>Sequoia sempervirens</i>	14,16"	Good/Excellent	Good	To be removed for new entry drive
6	Coast Live Oak/ <i>Quercus agrifolia</i>	7,13"	Good/Excellent	Good	To be removed for new entry drive; many of the trees along the south property line are growing through the chain link fence; this makes them more difficult to preserve and weakens them
7	Coast Live Oak/ <i>Quercus agrifolia</i>	12"	Good/Excellent	Good/Excellent	Possible to preserve; dripline radius 9' to north (over new driveway)
8	Apple/ <i>Malus</i> sp.	10"	Good/Excellent	Good/Excellent	To be removed for new entry drive
9	Privet/ <i>Ligustrum texanum</i>	4,7,8"	Good	Good	To be removed for construction
10	Privet/ <i>Ligustrum texanum</i>	4,6"	Good	Good	To be removed for construction
11	Coast Live Oak/ <i>Quercus agrifolia</i>	17"	Good/Excellent	Good/Excellent	To be preserved; walkway will be at grade
12	Coast Live Oak/ <i>Quercus agrifolia</i>	10"	Good/Excellent	Good/Excellent	To be preserved
13	Privet/ <i>Ligustrum texanum</i>	8" @ 3'	Good	Good/Excellent	To be removed for construction
14	Privet/ <i>Ligustrum texanum</i>	8" @ 3'	Good	Good	To be removed for new driveway/garage
15	<i>Olive/Olea europaea</i>	6"	Good/Excellent	Good/Excellent	To be removed for new garage
16	<i>Olive/Olea europaea</i>	8"	Good/Excellent	Good/Excellent	To be removed for new garage
17	<i>Olive/Olea europaea</i>	3,4"	Good/Excellent	Good/Excellent	Would be removed for dumpster; on north property line
18	<i>Olive/Olea europaea</i>	6,6" @ 2'	Good/Excellent	Good	To be removed; on north property line
19	English Walnut/ <i>Juglans regia</i>	20"	Good	Good	To be removed for construction
20	English Walnut/ <i>Juglans regia</i>	12"	Good	Good	To be removed for construction
21	Eucalyptus/ <i>Eucalyptus</i> sp.	21"	Good/Excellent	Good	To be removed for construction
22	Coast Live Oak/ <i>Quercus agrifolia</i>	8"	Good/Excellent	Fair	To be preserved; growing to east on south property line
23	Coast Live Oak/ <i>Quercus agrifolia</i>	16"	Good/Excellent	Good/Excellent	To be preserved; high-branched, 15' dripline radius on south property line
24	<i>Olive/Olea europaea</i>	10"	Good/Excellent	Good/Excellent	To be removed; on south property line

**699 S Cloverdale Blvd
Cloverdale**

TREE #	SPECIES	TRUNK DIAMETER (In.)	GENERAL HEALTH/CONDITION	STRUCTURAL INTEGRITY	CONSTRUCTION IMPACT/RECOMMENDATIONS
25	Mexican Fan Palm/ <i>Washingtonia robusta</i>	14"	Good/Excellent	Good/Excellent	To be removed for construction
26	Coast Live Oak/ <i>Quercus agrifolia</i>	15"	Good/Excellent	Good/Excellent	To be preserved; high-branched, 15' dripline radius on south property line
27	Coast Redwood/ <i>Sequoia sempervirens</i>	14"	Good/Excellent	Good/Excellent	To be removed for construction
28	Eucalyptus/ <i>Eucalyptus</i> sp.	13"	Good/Excellent	Good/Excellent	To be removed for construction
29	Coast Live Oak/ <i>Quercus agrifolia</i>	8,8"	Good/Excellent	Good	Can be preserved though one stem growing through chain link fence
30	Coast Live Oak/ <i>Quercus agrifolia</i>	7"	Good/Excellent	Fair/Good	Can be preserved though growing through chain link fence
31	Olive/ <i>Olea europaea</i>	6"	Good	Good	Can be preserved though growing through chain link fence
32	Coast Live Oak/ <i>Quercus agrifolia</i>	10"	Good/Excellent	Good/Excellent	Can be preserved though growing through chain link fence
33	Valley Oak/ <i>Quercus lobata</i>	8"	Good/Excellent	Good/Excellent	Can be preserved though growing through chain link fence
34	Coast Live Oak/ <i>Quercus agrifolia</i>	8"	Good/Excellent	Good	Can be preserved though growing through chain link fence
35	Coast Live Oak/ <i>Quercus agrifolia</i>	10"	Good/Excellent	Good	Can be preserved; 10' dripline radius
36	Coast Live Oak/ <i>Quercus agrifolia</i>	29"	Good/Excellent	Good/Excellent	To be preserved; compact parking spaces within dripline/rootzone
37	Coast Live Oak/ <i>Quercus agrifolia</i>	6"	Good/Excellent	Good/Excellent	To be preserved
38	Coast Live Oak/ <i>Quercus agrifolia</i>	7, 10, 11"	Good/Excellent	Good	To be removed; too entwined in chain link fence
39	Coast Live Oak/ <i>Quercus agrifolia</i>	23"	Good/Excellent	Good/Excellent	To be preserved; permeable paving, compact parking spaces within dripline/rootzone
40	Coast Live Oak/ <i>Quercus agrifolia</i>	6"	Good/Excellent	Good/Excellent	To be preserved
41	Valley Oak/ <i>Quercus lobata</i>	6"	Good/Excellent	Good/Excellent	To be preserved
42	Coast Live Oak/ <i>Quercus agrifolia</i>	14"	Good/Excellent	Good	To be preserved; reduce paved area or use reinforced concrete or permeable paving at grade; 12' dripline radius
43	Olive/ <i>Olea europaea</i>	12"	Good/Excellent	Good/Excellent	Can be preserved; 12' dripline radius
44	Coast Live Oak/ <i>Quercus agrifolia</i>	28"	Good/Excellent	Good/Excellent	To be preserved; reduce paved area or use reinforced concrete or permeable pavers at grade; 20' dripline radius
45	Coast Live Oak/ <i>Quercus agrifolia</i>	6"	Good/Excellent	Good/Excellent	To be preserved
46	Valley Oak/ <i>Quercus lobata</i>	38"	Good/Excellent	Good/Excellent	To be preserved; on adjacent property to south; dripline 30' to north
47	Coast Live Oak/ <i>Quercus agrifolia</i>	7"	Good/Excellent	Good	To be preserved
48	Coast Live Oak/ <i>Quercus agrifolia</i>	10"	Excellent	Excellent	To be removed for construction

**699 S Cloverdale Blvd
Cloverdale**

TREE #	SPECIES	TRUNK DIAMETER (In.)	GENERAL HEALTH/CONDITION	STRUCTURAL INTEGRITY	CONSTRUCTION IMPACT/RECOMMENDATIONS
49	Coast Live Oak/ <i>Quercus agrifolia</i>	6,4"	Good	Good	To be preserved
50	Coast Live Oak/ <i>Quercus agrifolia</i>	12,13"	Good/Excellent	Good/Excellent	To be preserved
51	Coast Live Oak/ <i>Quercus agrifolia</i>	18"	Good/Excellent	Good/Excellent	To be preserved; 22' dripline radius; on adjacent property to the north
52	Coast Live Oak/ <i>Quercus agrifolia</i>	6,7"	Good/Excellent	Good/Excellent	To be removed for construction
53	Coast Live Oak/ <i>Quercus agrifolia</i>	7"	Good/Excellent	Good/Excellent	To be removed for construction
54	Mimosa/ <i>Albizia julibrissin</i>	6,7"	Good	Good	To be removed for construction
55	Mimosa/ <i>Albizia julibrissin</i>	6,7"	Good	Good	To be removed for construction
56	Olive/ <i>Olea europaea</i>	16"	Fair/Good	Fair/Good	To be preserved
57	Coast Live Oak/ <i>Quercus agrifolia</i>	12"	Good	Fair	To be removed for new entry drive; all crown development to S due to competition
58	Olive/ <i>Olea europaea</i>	16" @ 3'	Good/Excellent	Good/Excellent	To be preserved; base of trunk approx. 18" higher than surrounding grade
59	Coast Live Oak/ <i>Quercus agrifolia</i>	10,11,11,14,21"	Good/Excellent	Good	To be preserved; 35' dripline radius to N; on adjacent property to the south; multiple trunks attached at base, low-branching
60	Coast Live Oak/ <i>Quercus agrifolia</i>	6"	Good	Good	To be preserved; on property line; cut fence wire
61	Coast Live Oak/ <i>Quercus agrifolia</i>	5"	Good	Fair	To be removed; too entwined in chain link fence
62	Coast Live Oak/ <i>Quercus agrifolia</i>	5"	Good	Fair	To be removed; on south property line, growing at base of #24, olive
63	Coast Live Oak/ <i>Quercus agrifolia</i>	6,4"	Good	Fair	To be removed; too entwined in chain link fence
64	Coast Live Oak/ <i>Quercus agrifolia</i>	6"	Good/Excellent	Good	To be removed; too entwined in chain link fence
65	Olive/ <i>Olea europaea</i>	6"	Good	Good	To be removed; too entwined in chain link fence
66	Coast Live Oak/ <i>Quercus agrifolia</i>	6"	Good	Good	To be preserved
67	Coast Live Oak/ <i>Quercus agrifolia</i>	48"	Good	Good	high vertical clearance; some decay in lower trunk at site of previous branch failure

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Pre-Application Presentation

June 7th, 2016

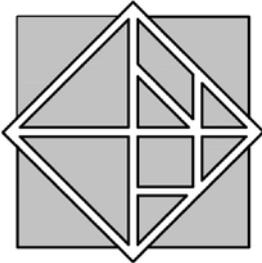
Project Team

THOMPSON
DEVELOPMENT INC.

AN AFFILIATE OF WEST BAY BUILDERS INC.



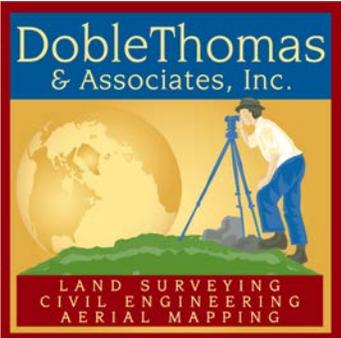
Hedgpeth Architects



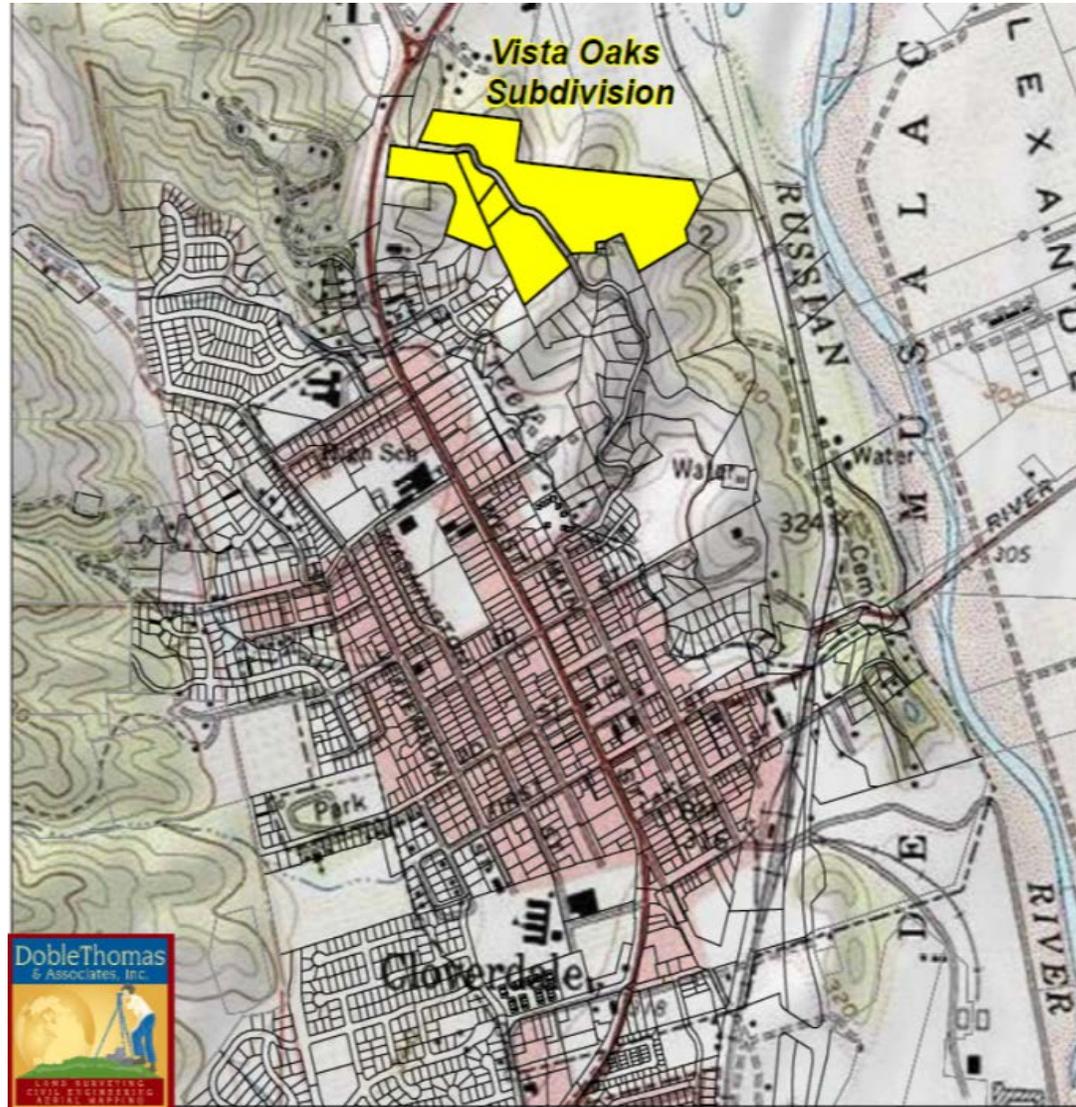
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Site Location



Existing Conditions

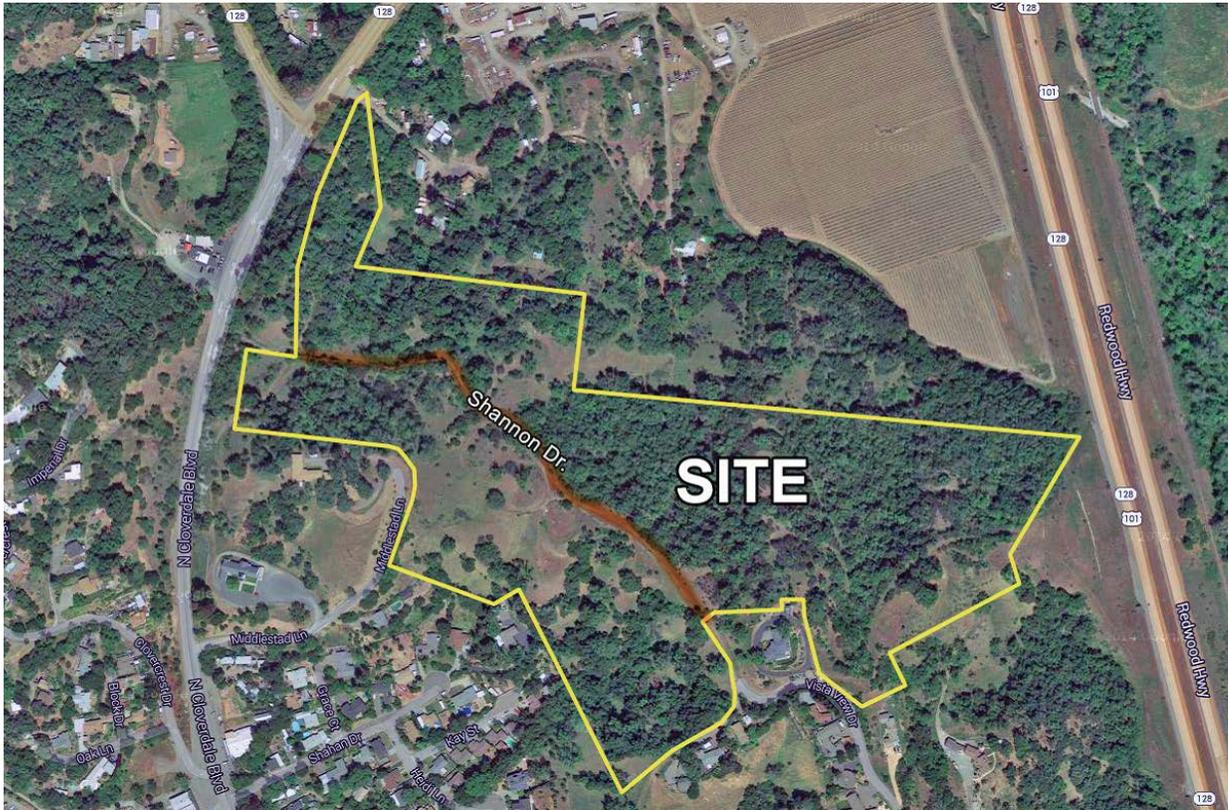


Existing Fire Access Road
Seven existing graded pads



Some Heavily Wooded Portions

Site Characteristics



- 42 Acre Hillside Property
- North of Downtown
- Existing 'Vista View Drive'
- Seven existing pre-graded building pads
- Views of beautiful Downtown Cloverdale

Existing Entitlements



- Zoned: Planned Development
- Existing 19 Lot Tentative Map
- Originally Approved September 2005
- Scheduled to Expire September 2017
- Precise Development Plan, Master Plan and Design Review Approval Expired 2012. GP amendment needed.
- Approximately \$2.8 M spent to date.

THE PRESENT

Cloverdale in 2016



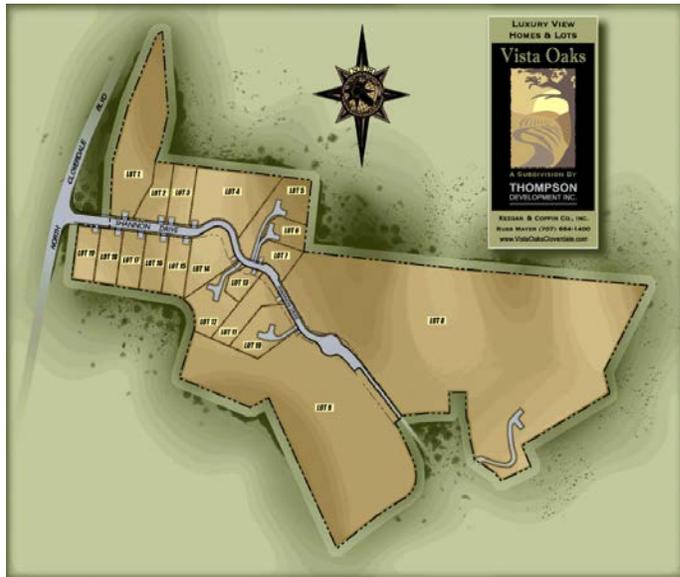
- ▶ A renewed energy and interest
- ▶ Housing market has changed
- ▶ Housing to meet needs at different levels of affordability
- ▶ Still limited equity in housing market

A New Proposal for 2016



- 33 Lots
- Homes clustered at entrance
- Move-up homes
- Some Semi Custom Homes
- +/- 27 acre Open Space Easement
- No new net run-off
- Landslide Repair

Approved vs Proposed



Approved

19 lots

Semi-custom homes

2,830 SF - 4,804 SF

69,395 SF of residential space



Proposed

33 lots

Mix of product type

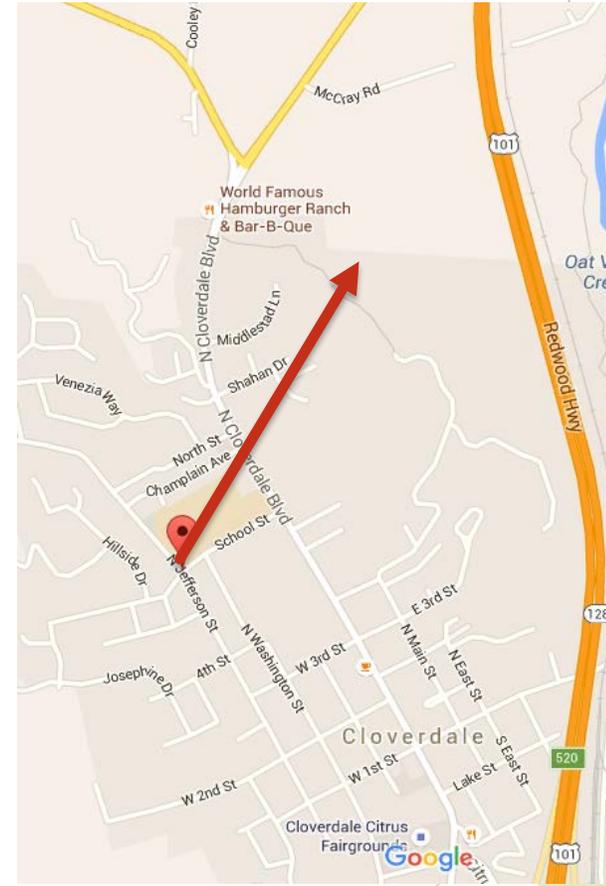
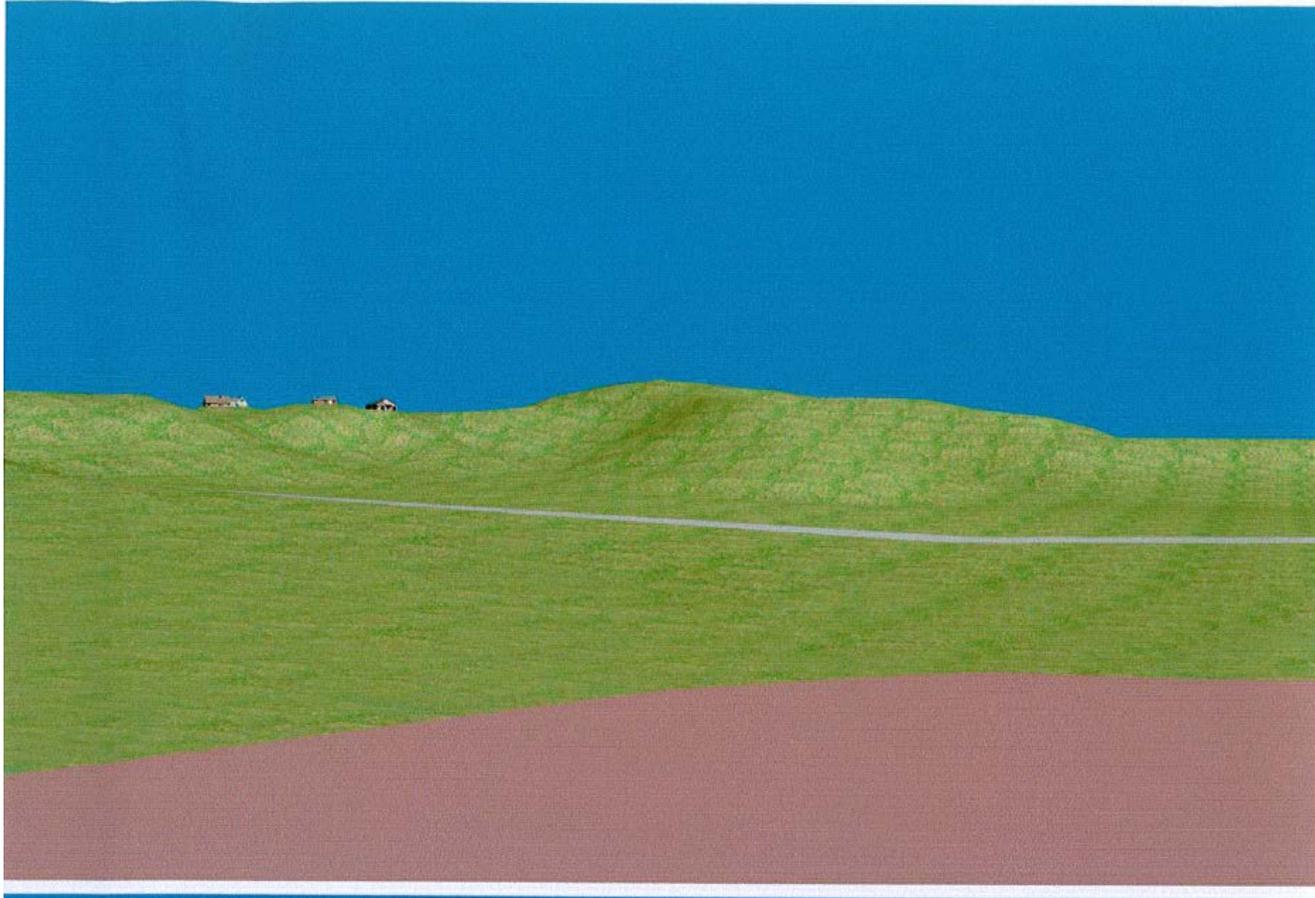
1,900 SF - 4,000 SF

Roughly 70,000 SF of residential space

Visibility & Hillside Protection

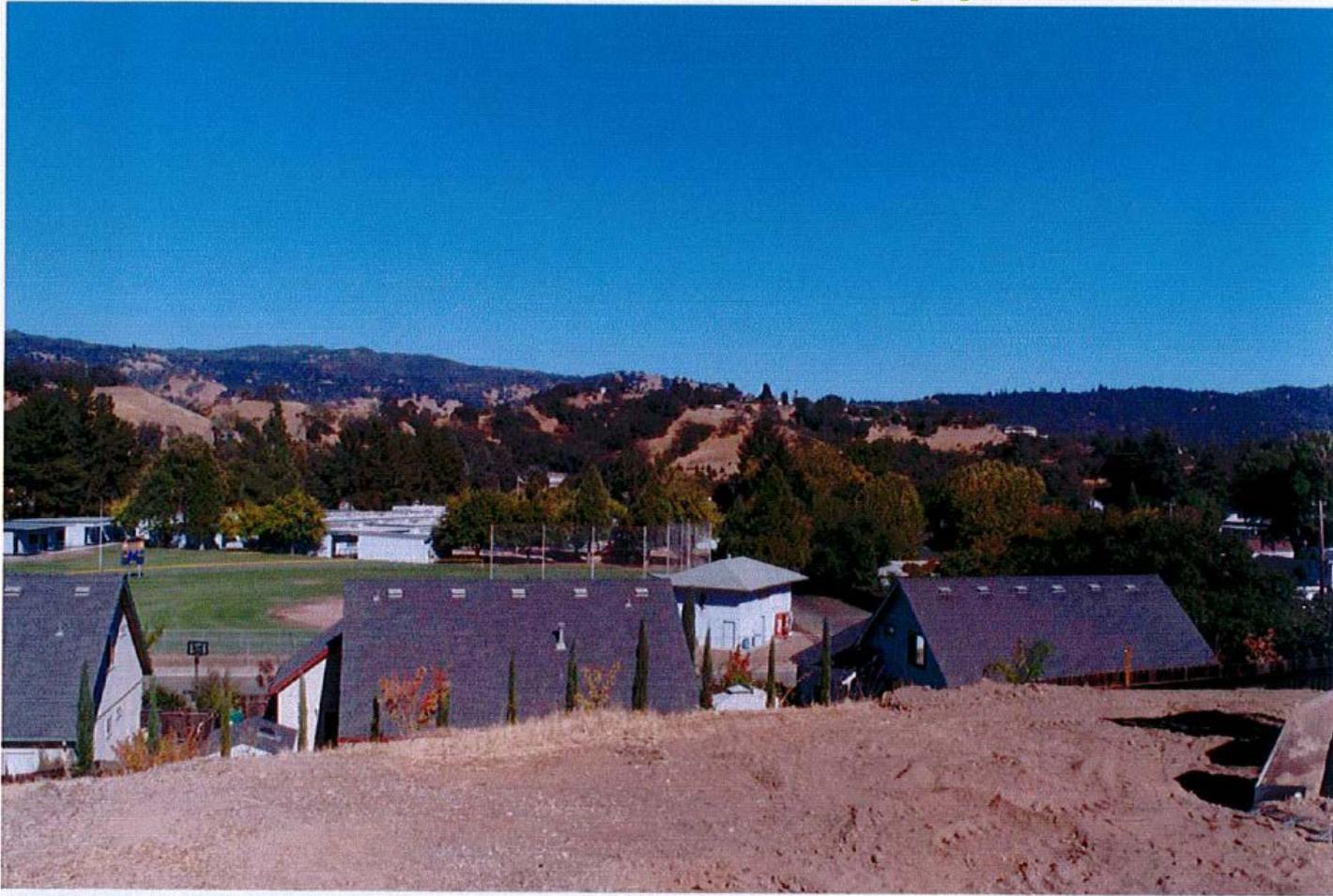
- ▶ Cloverdale has development standards specific to Hillside Properties (>20% Slope)
- ▶ Development “...shall not be visible from the level areas of the City below the 400’ elevation.”
- ▶ Development must be “screened by topographic features, setbacks from top of pad to the structure, or similar means.”
- ▶ “A sight line analysis may be required in order to show that the structure is not visible.”

Visibility Study Conducted for Approved Project

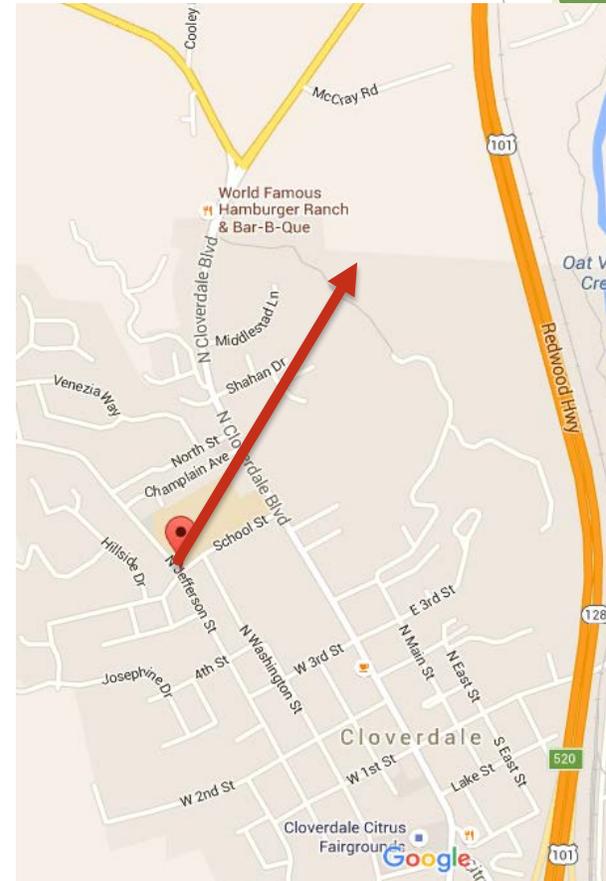


Computer Model of site including terrain and houses.

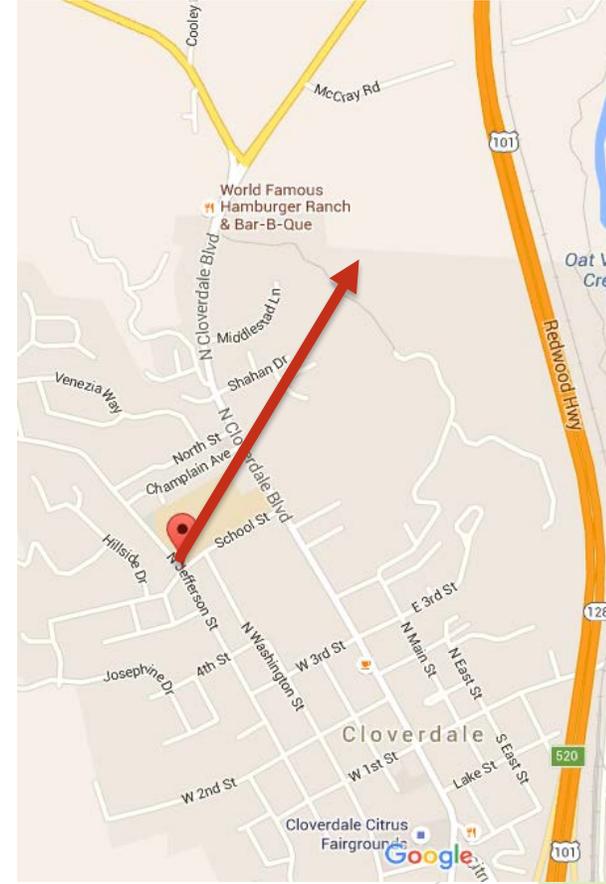
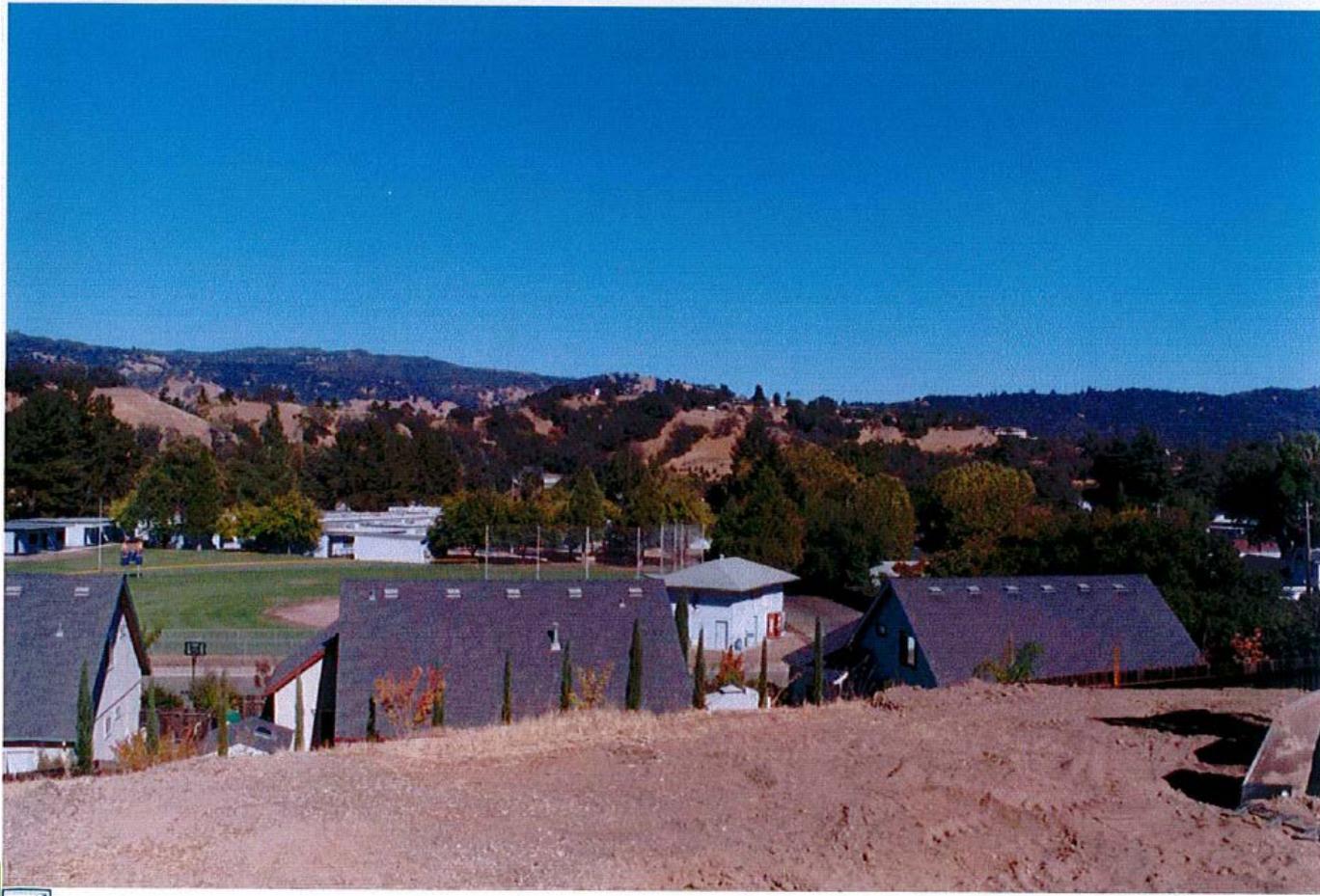
Visibility Study Conducted for Approved Project



Existing Conditions from N. Jefferson, looking East at the site.



Visibility Study Conducted for Approved Project

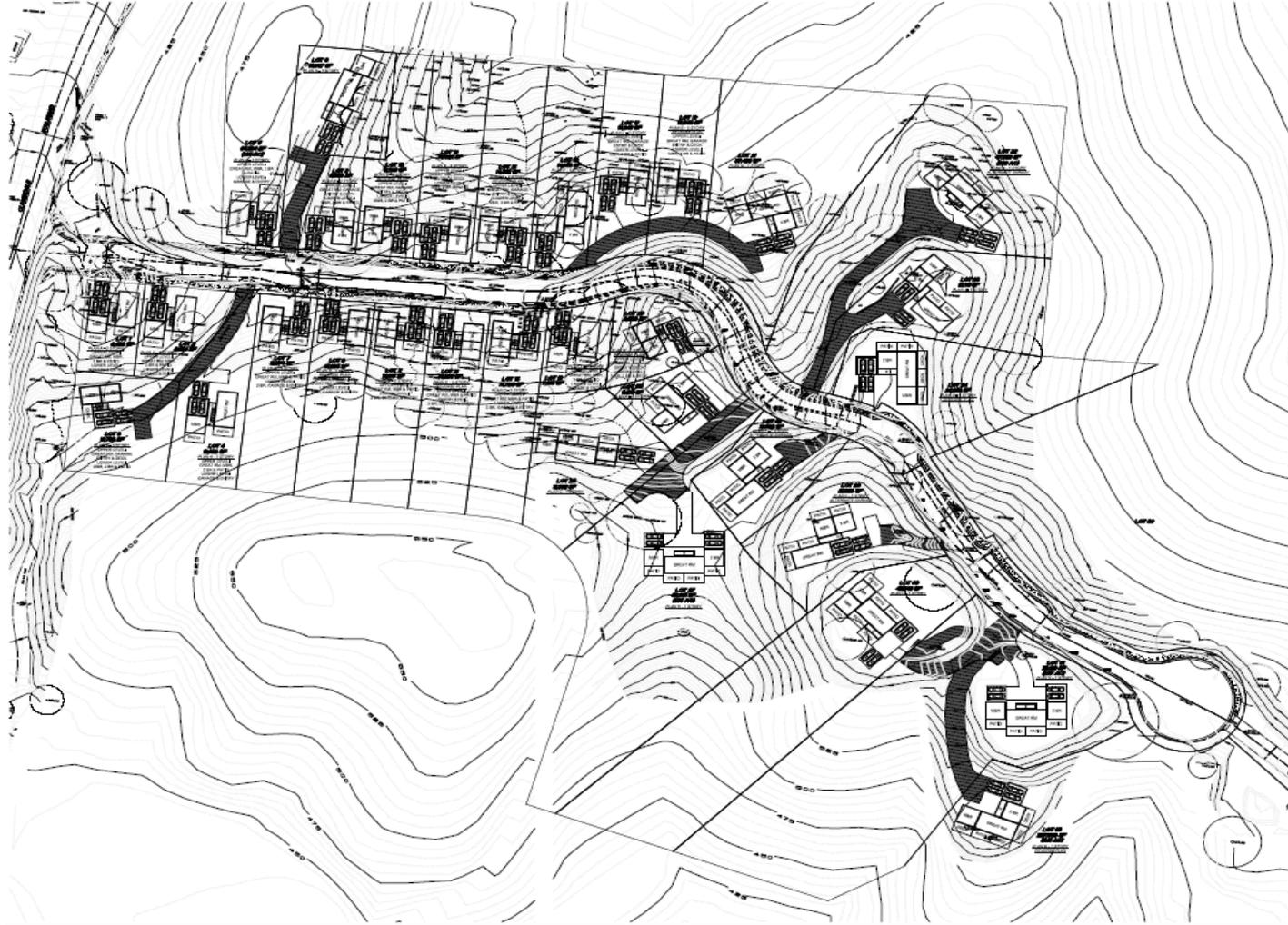


Computer Simulation of demonstrating visual impact of development

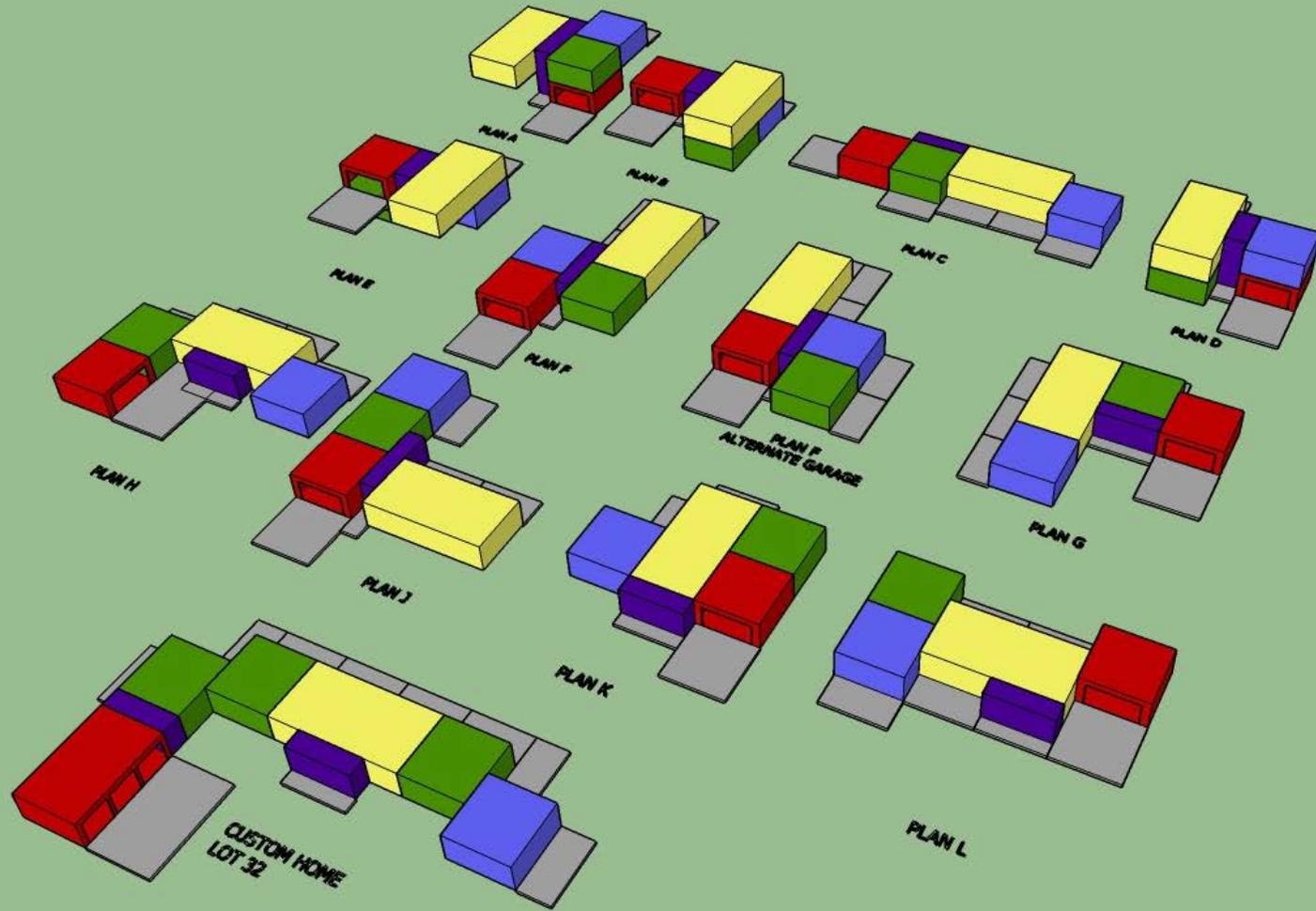
Visibility Overlay - New vs Approved

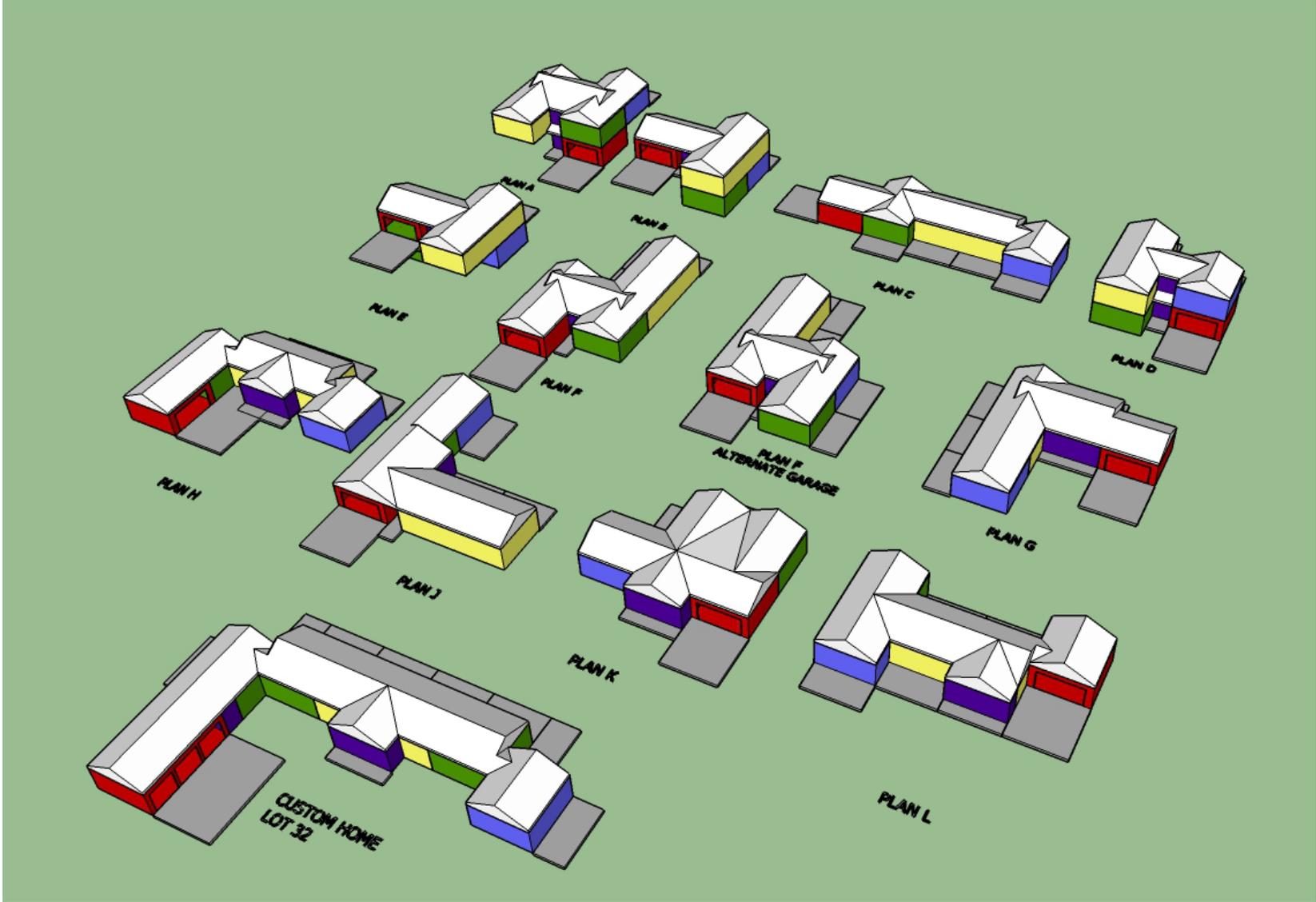


Architectural Concepts





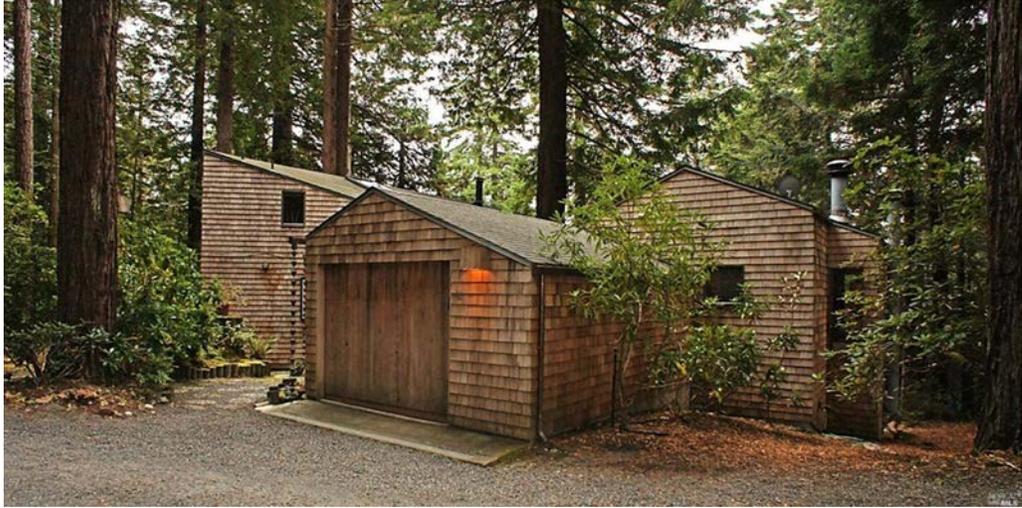




Preliminary Architectural Concepts











Sustainable Development

Development that meets the needs and aspirations of the present without compromising the ability of future generations to meet their own needs.



Environment

Promote a viable natural environment

Society

Maximize public benefit and involve community in decision making

Economy

Consider market feasibility

Is it Sustainable?

Environment



- Preserve 27 acres of open space
- Naturalistic approach to landscaping will maximize permeable surfaces to mitigate runoff impact
- Proximity to Downtown promotes walkability

Economy



- Mix of product type includes both semi-custom and move-up homes
- More affordable to a range of incomes and needs
- Development Impact Fees fund local Improvements

Social



- Inclusionary Housing Ordinance creates affordable housing
- Involve all stakeholders in the public review process

Next Steps...

▶ Approvals Needed

- ▶ Tentative Map Approval
- ▶ CEQA Determination
- ▶ General Plan Amendment
- ▶ Precise Development Plan
- ▶ Design Review

▶ Required for Application

- ▶ Civil drawings including landslide repair
- ▶ Conceptual Architectural Plans
- ▶ Landscape Plans
- ▶ Initial Study
 - ▶ Visibility
 - ▶ Traffic
 - ▶ Updated Geotech
 - ▶ Biological Study

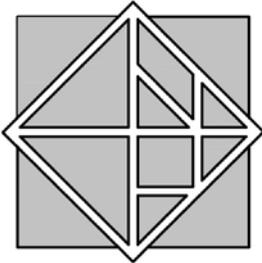
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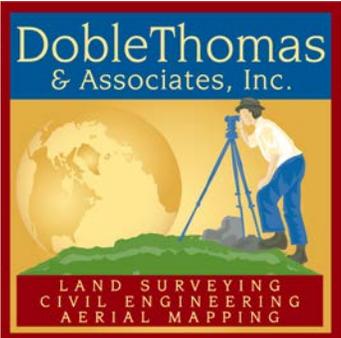
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MEMORANDUM

To: Members of the Cloverdale Planning Commission
From: David Kelley, Assistant City Manager/Community Development Director
Date: June 7, 2016
Subject: Cancellation and rescheduling of the July Cloverdale Planning Commission Meeting.

Regular Planning Commission meetings are held the first Tuesday each month. From time to time it may be necessary to cancel a meeting and/or schedule an alternate date. Alternate or additional meeting dates may be scheduled as needed and will typically be scheduled the third Tuesday of the month.

The next meeting of the Planning Commission following the June 2016 meeting is currently scheduled on Tuesday, July 5, 2016. Due to the close proximity of the next regularly scheduled meeting with Independence Day (4th of July) and potential conflicts with this national holiday, Community Development staff recommends that the Planning Commission cancel the regular scheduled meeting and consider rescheduling to an alternate date.

Community Development Staff recommends that the Planning Commission discuss and vote on the following:

1. Consider cancellation of the regularly scheduled Planning Commission Meeting on July 5th.
2. Consider rescheduling the regular July Meeting of the Planning Commission to July 19th.

If the Planning Commission agrees to cancel the regularly scheduled meeting on July 5th, Community Development staff will post a Notice of Cancellation and will include the following language on the Notice:

The next regularly scheduled meeting of the Commission is Month, day, 2016. An agenda will be posted for this meeting in accordance with the Government Code.

Planning Commission can decide to cancel the July 5th meeting and not reschedule the regular meeting to July 19th. In that case, the next regular meeting of the Planning Commission will be scheduled for the First Tuesday in August or Tuesday, August 2, 2016. However, due to various pending items, Community Development staff recommends rescheduling the regular scheduled July meeting to July 19th if a quorum of Commissioners will be available for this alternate meeting date.