



**AGENDA
MEETING OF THE PLANNING COMMISSION**

TUESDAY, MAY 3, 2016

PUBLIC SESSION: 6:30 p.m.

CLOVERDALE PERFORMING ARTS CENTER, 209 N. CLOVERDALE BLVD., CLOVERDALE, CA 95425

The Cloverdale Planning Commission welcomes you to its meetings that are typically scheduled for the 1st Tuesday of the month. Your interest and participation are encouraged and appreciated. ***Please silence all pagers, cellular telephones and other communications devices upon entering the meeting.***

ADDRESSING THE PLANNING COMMISSION:

When asked to do so by the Chair, those wishing to address the Commission are asked to step up to the podium. Speak directly into the microphone so everyone in the audience can hear your comments and so they'll be recorded into the official record. State your name and City of Residence for the record. Per City Council Policy, three (3) minutes are typically allotted to each speaker. However, the Planning Commission Chair may revise the amount of time allotted. Public comments will normally be received after staff presentations on an agenda item and before the Commission starts deliberations.

We may disagree, but we will be respectful of one another.

All comments will be directed to the issue at hand, and addressed to the Planning Commission.

Personal attacks are unacceptable.

DISABLED OR SPECIAL NEEDS ACCOMMODATION: In compliance with the Americans with Disabilities Act, if you need assistance to attend or participate in a meeting, please contact the City Clerk's office at 894-2521. Notification at least 48-hours prior to the meeting will assist the City Clerk in assuring that reasonable accommodations are made to provide accessibility to the meeting.

WAIVER WARNING: If you challenge decisions/directions of the Planning Commission in court, you may be limited to raising only those issues you or someone else raised at public hearings(s) described in this Agenda, or in written correspondence delivered to the City of Cloverdale at, or prior to, the public hearing(s).

OPENING:

- Call To Order
- Pledge Of Allegiance
- Roll Call
- Agenda Review (changes/deletions)
- Declaration of Conflicts of Interest

PUBLIC COMMENT PERIOD:

Under this item, citizens may speak on matters within the Planning Commission’s jurisdiction, which are not on the agenda. The Planning Commission is prohibited under the Public Meeting Law from taking action on matters that are not on the agenda, however, the Commission may take citizen’s input under advisement, direct staff to place the matter on a future agenda for discussion and/or possible action or refer matters to staff for follow-up.

CONSENT CALENDAR:

All items under Consent Calendar will be considered together by one action of the Planning Commission unless any Planning Commissioner or member of the public requests that an item be removed and considered separately.

1. **Minutes Review:** April 5, 2016- Moore

NON-PUBLIC HEARING ITEMS:

PUBLIC HEARING ITEMS:

2. **Approval of a Major Design Review, Plot Plan and Planned Sign Program application to construct a 15,655 square foot commercial building and related site improvements for a Grocery Outlet retail store**

Applicant:	Best Development Group
Property Owner:	Four R Investors LLC
Project Location:	111 Treadway Dr, Cloverdale (APN 117-040-083)
Zoning Designation:	Service Commercial (S-C)
General Plan Designation:	Service Commercial (SC)
Project Description:	Major Design Review, Plot Plan and Planned Sign Program application (DR/PP/PSP 004-2016) for a Grocery Outlet store and related site improvements at 111 Treadway Drive
Environmental Assessment:	Categorically Exempt: Section 15332, CEQA Guidelines - In-Fill Development Projects; Exempt: Section 15183, CEQA Guidelines – projects consistent with the General Plan or zoning.



**DRAFT MINUTES
MEETING OF THE PLANNING COMMISSION**

TUESDAY, APRIL 5, 2016

PUBLIC SESSION: 6:30 p.m.

CLOVERDALE PERFORMING ARTS CENTER, 209 N. CLOVERDALE BLVD., CLOVERDALE, CA 95425

OPENING:

- Call to Order: Chair Shanahan called the meeting to order at 6:30 p.m.
- Pledge Of Allegiance
- Roll Call: Commissioner Halliday, Commissioner Enge, Commissioner Bialon, Vice Chair Domke, Chair Shanahan, Alternate Commissioner Bovee, Alternate Commissioner Turner
- Agenda Review (changes/deletions): None
- Declaration of Conflicts of Interest: None

PUBLIC COMMENT PERIOD:

Chair Shanahan opened and closed the public comment period; none were received.

Assistant City Manager Kelley announced that the Deputy City Clerk will be moving toward action minutes, thus less details will be provided in future minutes; however, the audio for the meetings will now be posted on the Cloverdale website for those wishing to listen.

Mr. Kelley commented that the Commission seats are now all filled, with an additional two Alternates Commissioners. He welcomed the new Commissioners and distributed the Planning Commission Bylaws (attached). Mr. Kelley explained that the Alternate Commissioners would only be a voting member when a Commissioner is absent.

CONSENT CALENDAR:

Minutes Review:

1. December 2, 2015
2. December 16, 2015
3. February 2, 2016

Commissioner Halliday stated that he was absent for the December 2, 2015 meeting; therefore, item number one was pulled from Consent for a separate vote.

Action: Motion was made by Commissioner Halliday and seconded by Commissioner Domke to approve the consent calendar minus item number one. The motion passed by roll call vote (5 ayes – Commissioner Halliday, Commissioner Domke, Commissioner Enge, Alternate Bovee, and Chair Shanahan; 0-noes; 1 abstain- Commissioner Bialon).

Action: Motion was made by Commissioner Enge and seconded by Alternate Commissioner Bovee to approve item one of the consent calendar. The motion passed by roll call vote (4 ayes – Commissioner Domke, Commissioner Enge, Alternate Bovee, and Chair Shanahan; 0-noes; 2 abstain- Commissioner Halliday, Commissioner Bialon).

NON-PUBLIC HEARING ITEMS:

4. Request to approve a 17-month time extension to the Vista Oaks tentative subdivision map- *Miranda*

Applicant: Thompson Development Inc.

Property Owner: P&K Property LLC / Paul Thompson

Project Location: Approximately 42.62 acres at the north end of the existing Vista View Drive, which is currently an unpaved dirt road that ends prior to intersecting with North Cloverdale Boulevard

(APNs: 116-050-001, 116-060-012; -025; -027; -033; -063; -067; and 001-350-005; -038)

Zoning Designation: Planned Development (P-D)

General Plan Designation: Rural Residential (RR)

Environmental Assessment: The Mitigated Negative Declaration adopted on September 14, 2005 for the Vista View Subdivision is the sufficient environmental document for the Preliminary Development Plan portion of this project, in accordance with the California Environmental Quality Act (CEQA)

Staff Recommends: Staff recommends that the Planning Commission, approve Resolution No. 07-2016, approving a 17-month time extension (TM EXT 046-2015) to the Vista Oaks Tentative Subdivision Map (TSM), making September 5, 2017 the new expiration date for the TSM.

Assistant City Manager Kelley opened the Public Hearing, introducing Associate City Planner, Rafael Miranda, to present the requested extension to the Vista Oaks tentative subdivision map.

PUBLIC HEARING COMMENT PERIOD:

Chair Shanahan opened the public hearing comment period.

Casey Clement, representative for the Vista Oaks property owner, stated that the owners have been invested in this community for over a decade and enjoy Cloverdale, adding that they hope to continue to do business in Cloverdale. She commented that they are busy developing plans for the site and hope to be back before the Commission very soon with a Master Plan, Precise Development Plan, and Design Review for the project.

Lynn Hoyer, Cloverdale, stated her family owns the Barnes Lumber Company land and reported that they have been experiencing a lot of runoff from the graded lots and asked what the plan is for culverts and diversion of water.

Mr. Kelley responded that item before the Commission tonight is for a time extension, adding that when a plan does come forward Staff will look carefully at environmental impacts, including drainage.

Chair Shanahan closed the public hearing comment period.

Action: Motion was made by Commissioner Halliday and seconded by Commissioner Bialon to approve the Resolution No 07.2016 of the City of Cloverdale Planning Commission, approving a 17-month time extension (TM EXT 046-2015) to the Vista Oaks Tentative Subdivision Map (TSM), making September 5, 2017, the new expiration date for the TSM. The motion passed by roll call vote (5 ayes – Commissioner Halliday, Commissioner Domke, Commissioner Enge, Commissioner Bialon, and Chair Shanahan; 0-noes; 0 abstain).

OTHER BUSINESS: None

PLANNER'S REPORT/COMMUNICATIONS:

Assistant City Manager Kelley discussed the terms of membership for the Commission. He commented that two terms will be expiring in June and discussed the process for appointment. He distributed a hand out listing the terms for the current Commissioners (attached).

PLANNING COMMISSION DIRECTION TO STAFF:

Chair Shanahan requested a status report on the tree ordinance. Associate Planner, Rafael Miranda, reported that the ordinance has been put on a back burner until the vacant Public Works Director position is filled. Commissioner Halliday also expressed an interest in receiving more information regarding the tree ordinance at a future Commission meeting.

Commission Enge requested a written project update be provided to the Commission each month on current and past projects. Mr. Kelley responded that he would be happy to supply project reports regarding projects staff is working on to the Commission.

ADJOURNMENT: Chair Shanahan adjourned at 6:56 p.m. to the next meeting Tuesday, May 3, 2016, at 6:30 p.m., or alternate date as requested, at the Cloverdale Performing Arts Center, 209 N. Cloverdale Blvd., Cloverdale, CA 95425.

BYLAWS OF THE PLANNING COMMISSION

FOR THE CITY OF CLOVERDALE

**PROCEDURAL RULES AND BYLAWS
FOR CONDUCTING PUBLIC MEETINGS**

City of Cloverdale Planning Department

**August 1988
Amended September 18, 1991
Amended October 20, 1993
Amended January 5, 1994
Amended December 4, 2013**

ARTICLE I
PURPOSE

Section 1. To provide guidelines and rules of operation for the Planning Commission as established by the Cloverdale City Code and adopted by the Cloverdale City Council.

ARTICLE II
GENERAL RULES

Section 1. Applicability.
These rules shall apply to all meetings of the Planning Commission for the City of Cloverdale. It shall be the responsibility of each member of the Planning Commission to become knowledgeable with these rules.

Section 2. Membership.
The Planning Commission shall be composed of five (5) regular members appointed by the Mayor with the approval of the City Council (Ord. 208 N.S. amended by Ord. 391 N.S.).

Section 3. Voting.
Three (3) appointed members of the Planning Commission shall constitute a quorum for the transaction of business of the Commission.

Section 4. Meeting Attendance.
If any member of the Planning Commission is unable to attend a regular or special meeting of the Planning Commission, the member shall notify the Chair or the Secretary prior to the meeting advising the reason therefore. Failure of a member to attend meetings of the Planning Commission may be reported to the City Council by resolution of the full Planning Commission.

Section 5. Commission Chair.
The Chair of the Planning Commission, when present, shall preside at all meetings; shall take the chair at the hour appointed for the Planning Commission meeting and immediately call the meeting to order; and shall proceed to administer the business of the Planning Commission in a manner consistent with the rules of the Commission. The Chair of the Planning Commission shall preserve order, the decorum, and shall decide upon all questions of order subject to the transaction of business by the Planning Commission.

Section 6. Commission Vice Chair.
The Vice Chair shall, in the inability or absence of the Chair to act, take the Chair and have all powers and duties of the Chair.

Section 7. Secretary.
The Secretary of the Planning Commission shall be the Planning Director or his/her designee. The Secretary of the Commission shall be responsible for giving notice of all Planning Commission meetings; preparing all Planning Commission agendas; maintenance and recording of all meetings and actions of the Planning Commission; signing and attesting to all documents and resolutions; conducting correspondence; and supervising the maintenance of official files, records, exhibits, and documents. The Secretary may appoint an employee of his office to fulfill duties of the Secretary in the case of an absence.

Section 8. Legal Counsel.

The City Attorney may provide legal counsel to the Planning Commission during the transaction of business during any regular or special meeting. Whenever possible, legal advice should be in written form and should be accomplished through consultation with the Planning Director.

Section 9. Advisory Members.

Advisory members to the Planning Commission may include but are not limited to the City of Cloverdale Police Chief, City Engineer, Public Works Director and Health Officer as well as the Cloverdale Fire Protection District Fire Chief. The advisory members should participate in Planning Commission meetings when specialized expertise is requested by the Commission.

Upon request, all public officials shall furnish to the Planning Commission within a reasonable period of time, and as provided by law, such available information as may be required for the work of the Commission.

Section 10. Ad Hoc Committees.

The Chair of the Planning Commission may appoint ad hoc committees for the purpose of examining a land use matter now under consideration.

Section 11. Membership on Committees.

All committees shall consist of three members, except as otherwise ordered by the Planning Commission. The Chair of the Planning Commission may, at any time, change the number of members of its committees in such a way as he or she may deem to be in the best interests of the Commission. The intent is that no committee shall constitute a quorum of the Planning Commission, Design Review Committee or the City Council.

Section 12. Committee Quorums.

A majority of any committee shall constitute a quorum of such committee. If fewer than the full membership of the committee are present at any meeting, the members present may prepare reports and recommendations, and may submit the same to the Commission on behalf of such committee, in which case the report shall show the committee members present.

Section 13. Committee Chair.

The first member named on the committee shall be the Chair thereof. The Chair of a committee shall call the meeting to order at such time and place as he or she may deem proper.

Section 14. Alternate Members.

a. In addition to the five regular members, the Mayor, with the approval of the City Council, shall appoint two resident alternate commissioners for a term of two (2) years, who shall have all of the powers and duties of a regular commissioner except his or her right to vote shall be allowed and have legal effect only when seated as an acting commissioner in the absence of one of the regular commissioners. The position of acting commissioner shall be rotated between the alternate commissioners.

b. The same recruitment/selection process presently used for commission members shall be employed for the alternate member.

c. The term for the alternate shall automatically end if he or she has three consecutive unexcused absences unless, in the judgment of the City Council, good cause is shown. Excused absences shall be granted only by a majority vote of the Planning Commission, a majority vote of the City Council, or with written excuse given by the City Manager.

d. The alternate member shall abide by all of the laws, regulations and rules of conduct that apply to regular commissioners.

ARTICLE IV
CONDUCT OF COMMISSION MEETINGS

Section 1. Rules of Conduct.

The Chair shall conduct all meetings of the Planning Commission in accordance with Roberts Rules of Order and in compliance with the provisions of the Brown Act.

Section 2. Order of Business.

The order of business of each regular meeting of the Planning Commission shall be transacted in the following order:

- a) Call to Order by the Chair
- b) Pledge of Allegiance
- c) Roll Call by the Secretary
- d) Introductions by the Chair
- e) Approval of meeting agenda

- f) Public Comment Period
- g) Public Hearings on Planning Commission matters
- h) Miscellaneous matters, plans and reports
- i) Old business
- j) Petitions, Resolutions, Council Orders
- k) Correspondence
- l) Planning Directors Report

The order of business may be altered or suspended at the direction of the Chair.

Section 3. Regular Meetings.

Regular meetings of the Planning Commission shall be held on the first Wednesday of each month at 6:30 P.M. in the Cloverdale Performing Arts Center, Cloverdale, California. If any regular meeting falls upon a holiday, the regular meeting of the Planning Commission shall be held on the third Wednesday of the month or on a mutually agreeable date commencing at the same hour in which all hearings, applications, and petitions and other matters before the Planning Commission shall be deemed to be and are hereby automatically continued to said day and hour.

Section 4. Special Meetings.

Special meetings of the Planning Commission may be called in the manner provided by law and the order calling the special meeting shall specify the time and place of the meeting and the specific business to be transacted by the Planning Commission at such meeting. No other business shall be

considered at a special meeting outside of that business which appears within the order calling the special meeting. The Chair or a quorum of the Planning Commission may call and order a special meeting of the Planning Commission.

Section 5. Adjourned Meetings.

An adjourned meeting of a regular meeting or an adjourned regular meeting is part of the regular meeting. An adjourned meeting may be adjourned to a specific place, date and time by a majority of the members present.

Section 6. Lack of Quorum.

In the absence of a quorum, the members of the Planning Commission present shall adjourn a regular, special or adjourned meeting until:

- a. In the case of a regular meeting, the third Wednesday of the month commencing at the same hour, in which all hearings, applications, petitions and other matters before the Planning Commission shall be deemed to be and are hereby automatically continued to said day and hour; and
- b. In the case of a special or adjourned meeting, a date, time and location specified by the members of the Planning Commission present in which all hearings, applications, petitions and other matters before the Planning Commission shall be deemed to be and are hereby automatically continued to said specified day, hour and location.

If all members of the Planning Commission are absent, the Secretary of the Planning Commission may adjourn the meeting to a stated time and place as provided by law.

Section 7. Compensation.

The members of the Planning Commission shall receive no compensation except such expenses as are authorized by law. Reasonable traveling expenses incidental to attending planning conferences, meetings, hearings on planning legislation, or matters affecting the master plan or any part thereof, shall be charged upon the funds allocated to the Commission.

ARTICLE V
COMMISSION RECORDS

Section 1. Agendas.

Agendas of the Planning Commission meeting shall be prepared by the Secretary of the Planning Commission in a form similar to that contained in Exhibit 1. The ability to include items upon the Planning Commission agenda shall close at 5:00 p.m. fifteen (15) days prior to the date of the meeting for which the agenda is being prepared.

Items can only be scheduled before the Planning Commission when the following has occurred:

- a. The application has been deemed complete.
- b. All requirements of the California Environmental Quality Act have been met relative to the completion of an initial environmental assessment and its appropriate review.
- c. The application, in its completed form, has been reviewed by the Project Review Committee.

- d. Final Recommendations/mitigations measures have been discussed and finalized between the City and applicant.

Section 2. Public Notices.

Public notices containing detailed information as required by law for general plan, zoning, and subdivision matters shall be prepared by the Secretary of the Planning Commission in a form similar to that contained in Exhibit 2. The information required for a public notice can be provided on a separate document or contained upon the meeting agenda, but in either case it must contain the same information.

Section 3. Agenda and Public Notice Publishing, Posting, Distribution

Agendas of Planning Commission meetings and public notices for public hearings before the Planning Commission shall be published as required by law. Agendas shall be published at least seventy-two (72) hours in advance of a regular meeting of the Planning Commission. Public notices shall be published at least ten (10) days prior to a regular meeting of the Planning Commission. Agendas and public notices shall be posted at the following locations prior to a meeting of the Planning Commission:

- a. Meeting Room of the Planning Commission
- b. City Hall Bulletin Board, Cloverdale
- c. Post Office Buildings throughout City of Cloverdale
- d. Various Public Posting Places throughout County of Sonoma

Agendas and public notices shall be distributed via electronic mail and/or through the U.S. Mail at prior to a meeting of the Planning Commission to the following:

- a. City Council
- b. Planning Commission members
- c. City Clerk
- d. City Departments
- e. County Clerk
- f. State/Federal Agencies
- g. Newspaper of General Circulation within City of Cloverdale
- h. Any owner of record of property subject to the transaction of business
- i. Any applicant or representative of subject property
- j. Property owners within 300 feet of the subject property as required by State law

Agendas can be distributed to other parties upon written request. If the request is for hard-copy(ies) sent through the U.S. Mail, pre-payment at actual cost of reproduction and thirty (30) self-addressed stamped envelopes shall be provided to the Planning Department office prior to distribution.

Section 4. Meeting Minutes.

Minutes of all Planning Commission meetings shall be prepared under the direction of the Planning Commission Secretary in a form similar to that contained in Exhibit 3. The Secretary of the Planning Commission shall be responsible for the content and accuracy of the minutes. All meetings of the Planning Commission shall be taped; however the written minutes need not be, and shall not be relied upon as, a verbatim transcript of the meeting. The tapes shall be held for a period of six (6) months after final action by the Planning Commission and/or City Council. The minutes shall contain a summary of all actions and sufficient documentation with applicable references as may be necessary to make any action of the Planning Commission understandable. If a verbatim transcript is desired the persons requesting the transcript shall employ and pay the fee or fees of a certified reporter. Minutes of meetings shall be approved by the Planning Commission and shall subsequently be signed by the Secretary and Chair attesting to approval of said minutes. Minutes, upon approval by the Planning Commission and signature by the Secretary, shall be distributed to the following:

- a. City Council members
- b. Planning Commission members
- c. City Departments
- d. Newspaper of General Circulation within City of Cloverdale

Minutes can be distributed to other parties upon written request. If the request is for hard-copy(ies) sent through the U.S. Mail, pre-payment at actual cost of reproduction and thirty (30) self-addressed stamped envelopes shall be provided to the Planning Department office prior to distribution.

Section 5. Staff Reports.

Staff reports and recommendations on any matter to be considered by the Planning Commission shall be prepared and made available to members of the Planning Commission, in a form similar to that contained in Exhibit 4, in sufficient time for Commissioners to receive them on the Friday prior to the regular Wednesday meeting of the Planning Commission. Copies of the reports and/or recommendations shall be made available for public inspection at the office of the Secretary of the Planning Commission prior to the commencement of any meeting of the Planning Commission and the Planning Commission may allow in its discretion, the filing of supplemental reports which shall be made public at the commencement of any hearing or meeting of the Planning Commission. Staff reports shall be provided to the applicant or agent for any property being considered as a matter of business before the Planning Commission as provided by law.

Section 6. Resolutions.

Resolutions of the Planning Commission shall be provided for any actions of the Planning Commission as follows:

- a. Approval or denial of Use Permits, Variances, Subdivision Maps, Site Development Plans and other items as authorized by City Code.
- b. Reports to the City Council on failure of Planning Commission members to regularly attend Planning Commission meetings
- c. Initiation of General Plan and Zoning matters
- d. Setting the time, place and location of public hearings on any matter before the Planning Commission
- e. Adoption of and amendments to policies of the Planning Commission.

Resolutions of the Planning Commission shall be prepared by the Secretary of the Commission, in a form similar to that contained in Exhibit 5, and shall be approved by the affirmative vote of a majority of acting members. Voting shall be by either voice vote conducted by the Chair or by roll-call conducted by the Secretary of the Commission. All final findings and conditions within the Staff Report shall be made a part of the adopted resolution.

Section 7.

Exhibits.

All exhibits including but not limited to reports, analyses, maps, graphs, plans, drawings, photographs, letters, petitions, and other documentary or physical evidence received by the Planning Commission at a hearing or a regular meeting shall be retained as part of the official hearing record of the Planning Commission. All exhibits shall be marked by the Secretary of the Commission for reference and identification as follows: *PLANNING COMMISSION EXHIBIT* and shall be filed in a safe and orderly fashion in the office of the Secretary of the Planning Commission. All exhibits under the jurisdiction of the Planning Commission shall be accessible to the members of the Planning Commission and to the public under such rules, not inconsistent with the law, as the Planning Commission may establish.

ARTICLE VI

COMMISSION HEARINGS - PROCEDURAL RULES

The following procedural rules shall govern the conduct of all land use hearings before the Planning Commission of the City of Cloverdale:

Section 1.

Hearings, Continuances and Priority

1. Hearings: All hearings on one land use project shall be set at the same time. Hearings shall be opened and closed for each discretionary action scheduled before the Commission. No person having a proprietary interest in a parcel of land on which such person contemplates a land use application shall appear before a hearing body on such matter until an application has been duly filed with and processed by the Planning Department.

2. Continuances: When more than one item has been set for hearing at a particular time, the Chair, at the time set for such hearings, shall inquire of the Planning Department staff and the audience as to whether continuances are being requested on any such items, and may order the hearing on any such item to be continued to a specified date and time; provided that upon request of any member of the hearing body, continuance decisions shall be made by roll call vote of all members present.

3. Priority: It shall be the policy in land use hearings to take up those items, first, which are of interest to persons who have come from the greatest distance and second, which are of interest to the greatest number of persons present. When more than one item has been set for hearing at a particular time, the Chair, at the time set for such hearings, shall ascertain the number of persons present on each item, and may direct that such items be heard in an order different from that specified on the hearing body's agenda; provided that upon request of any member of the hearing body, decisions as to the priority of items shall be made by roll call vote of all members present.

Section 2.

Presentation of Evidence.

1. Recording: All hearing on land use matters shall be recorded by electronic device. Any person desiring to have a hearing recorded by a stenographic reporter at his or her own expense may do so, provided that he/she consults the hearing body's Secretary or Clerk to arrange facilities for such reporting prior to commencement of the hearing and advises the Secretary or Clerk of the full name and business address and telephone number of the reporter being used.

2. Statement of Legal Principles: The Chair of the hearing body may, in his/her discretion, request that the City Attorney make a brief statement of applicable legal principles and requirements for the information of members of the audience or hearing body prior to the opening of the hearing. The statement may include a summary of the statutory and judicial requirements applicable to the hearing body's decision on the specific type of land use matter (e.g., conditional use permit, variance, etc.) to be heard.

3. Order of Procedure: Unless the Chair in his/her discretion shall direct otherwise, the order for presentation of evidence on particular land use items shall be as follows:
 - A. The Chair shall open the public hearing.
 - B. The Secretary or other staff member will present communications concerning the application.
 - C. The staff will make a report covering the facts and background of the application or matter being heard, including reasons or criteria for recommendations.
 - D. The applicant or his/her representative will then be given an opportunity to make a presentation or make comments relative to his/her application.
 - E. The Chair shall then open the hearing providing the public an opportunity to comment.
 - F. The applicant, or his/her representative, may then respond to previous testimony, at the discretion of the Chair.
 - G. Closing comments by Staff. The public portion of the hearing will then be closed and no further testimony taken (including testimony from staff) unless a determination is made that the hearing shall be reopened and continued. The Commission shall then proceed with discussion.

4. Sworn Testimony: Witnesses shall not be required to be sworn, but each witness will be required to approach the microphone and give his/her full name and address for the record before testifying.

5. Rules of Evidence: The hearing need not be conducted according to technical judicial rules of evidence, but statutory and judicial rules regarding inferences and presumptions in civil litigation shall be applicable. Any relevant evidence may be considered if it is the sort of evidence on which responsible persons are accustomed to rely in the conduct of serious affairs. The Chair may exclude irrelevant or redundant testimony and may make such other rulings as may be necessary for the orderly conduct of the proceedings while ensuring basic fairness and a full airing of the issues involved. Evidentiary objections shall be waived unless timely made to the hearing body.

6. Burden of Proof in Hearing by Appellant: Unless otherwise ordered and noticed, hearings shall be held as part of the regular or special meetings of the Commission. The hearing shall be *de novo*, in that an independent re-examination of the matter shall be made. The appellant shall have

the burden of proof in all cases, and where it appears that an appellant was served with notice of hearing but fails to appear either in person or by counsel, or fails to present or offer evidence, the Commission may adopt the determination or it may itself decide the matter upon the record with or without taking any additional evidence. Any oral or documentary evidence may be received; however, the Chair shall exclude irrelevant, immaterial, or unduly repetitious evidence. The hearing shall be conducted as described above according to technical rules relating to evidence and witnesses. Any relevant evidence may be considered if it is the sort of evidence on which responsible persons are accustomed to relying on in the conduct of serious affairs.

7. Exhibits and Staff Reports:

- a. Subject to the conditions stated below, all exhibits, including documentary materials such as photographs, slides, drawings, maps, charts, letters, petitions and other physical evidence presented at a land use hearing shall be retained in the Planning Department file as part of the record of the hearing.
- b. All exhibits presented to the hearing body will be marked for purposes of identification. Exhibits presented by City staff personnel will be marked in order numerically. Exhibits represented by persons other than City staff personnel will be marked in order alphabetically. Each exhibit shall be marked so as to indicate the number of the application, the date upon which it is presented, and the name of the person by whom it is presented.
- c. Any written staff report presented to the hearing body shall be marked as "Exhibit 1" and shall be made available to the public prior to, or at the beginning of, the hearing.
- d. Any staff exhibit (e.g., a general plan or area map) which has been or will be used in other land use hearings need not be retained in a particular file, but shall be preserved by the Planning Department for future reference and a notation indicating its location shall be made in the file in any matter which it has been used.
- e. Scale models and other physical exhibits which cannot be conveniently retained in case files may be photographed at the expense of, and then released to, the person submitting them. The photograph shall be entered in the file in place of the original exhibit, and a notation shall be made on the photograph as to where the original exhibit may be located.
- f. Any person referring to an exhibit during testimony shall indicate the number or letter designation assigned to such exhibit.
- g. Upon timely objection in adjudicatory hearings, petitions and letters signed by persons not present at the hearing for questioning as to their contents shall be received by the hearing body only for the limited purpose of showing the names of the persons protesting or supporting the action under consideration.

8. Oral Evidence: Any person desiring to speak must first be recognized by the Chair. All comments must be made clearly and distinctly into a microphone, and all speakers must first state their full names and addresses and the names of any persons on whose behalf they are appearing.

9. Time Limits and Number of Witnesses: In order to expedite the conduct of hearing, the Chair may limit the amount of time which a person may use in addressing the hearing body. The Chair may also limit the number of speakers or amount of testimony upon a particular issue in order

to avoid repetitious and cumulative evidence. Except when necessary for immediate clarification of a particular point, no person shall be allowed to speak a second time until all others wishing to speak have had an opportunity to do so.

10. **Questioning of Speakers:** Any person other than members of the hearing body desiring to direct a question to a speaker or staff member shall submit the question to the Chair, who shall determine whether the question is relevant to the subject of the hearing and whether or not it need be answered by the speaker or staff member. Direct questioning of speakers or staff members may be allowed at the discretion of the Chair.

11. **Field Investigations:** The hearing body may take field trips to view property or for other purposes relevant to the hearing. All field trips of the hearing body shall be taken as part of a regular, adjourned or special meeting of the hearing body, and all interested persons shall be afforded the opportunity to be present to view the property and hear any reports or comments. A record of the field trip shall be entered into the minutes so the hearing record will indicate that the field trip was taken into consideration as evidence.

12. **Study Sessions:** The hearing body may hold a study session as part of a regular, adjourned or special meeting. When a matter is set for a study session, public testimony may be barred or limited to particular persons at the discretion of the Chair. Public notice for study sessions on specific matters for which public hearings are anticipated in the future shall be given in a similar manner as that required for public hearing and a record of such study sessions shall be entered into the minutes of any such future public hearings so that the hearing records will indicate whether any information received at the study sessions was taken into consideration as evidence at the subsequent public hearings.

Section 3. Findings.

On any matter for which State laws or City ordinance require the preparation of written findings, the staff report submitted on the matter shall contain findings proposed for adoption by the hearing body. Any motion directly or impliedly rejecting such proposed findings must include a statement of alternative or modified findings or a direction that the matter under consideration be continued for a reasonable amount of time in order for staff to prepare a new set of proposed findings. The motion must include a statement of alternative or modified findings or a direction that the matter under consideration be continued for a reasonable amount of time in order for staff to prepare a new set of proposed findings consistent with the evidence which has been presented and the decision which is anticipated. Findings which should be considered by the Planning Commission include:

A. Environmental Impact

1. A negative declaration has been filed; no Environmental Impact Report (EIR) is required; or
2. This project is categorically exempt from the provisions of the California Environmental Quality Act
3. An EIR has been filed in this proceeding and is complete. The mitigating measures recommended in said EIR are sufficient to avoid any significant impacts on the environment, and are included in the conditions of approval herein; or
4. An EIR has been filed in this proceeding and is complete. It is infeasible to mitigate the effects on the project except as set forth in said report, however, the public benefit to be

derived from said project outweighs any such negative environmental impacts; or (if the project is to be disapproved); or

5. An EIR has been filed in this proceeding and is complete. The probable adverse impacts on the environment are significant and the mitigating measures as proposed are not adequate. The probable adverse impacts on the environment outweigh other considerations, including any public benefit which might be derived by said project.

B. Tentative Subdivision Map - Approval

1. The proposed subdivision, together with the provisions for its design and improvement is consistent with the General Plan (if applicable and the specific plan adopted for the area).
2. The site is physically suitable for the type and density of development.
3. The design of the subdivision and proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
4. The design of the subdivision and improvements is not likely to cause serious public health problems.
5. The design of the subdivision and improvements will not conflict with easements of record acquired by the public at large for access through or use of property within the proposed subdivision.
6. To the extent that the subdivision will conflict with easements acquired by the public at large, alternate easements have been or will be provided, substantially equivalent to those previously acquired by the public.

CAVEAT: The design of a subdivision of five (5) or more lots must provide, to the extent feasible, for future passive or natural heating or cooling opportunities in the subdivision. Examples include design of lot size to permit southern exposure, to permit orientation of a structure to take advantage of shade or prevailing breezes. This requirement may not be used as a reason to reduce density, and no finding is specifically required with regard to this requirement.

C. Tentative Map - Denial

Any one of the following findings:

1. The proposed map, and the proposed design and improvement is not consistent with the General Plan (if applicable is not consistent with the specific plan for the area).
2. The site is not physically suitable for the type of development.
3. The site is not physically suitable for the proposed density of development.
4. The design of the subdivision and the proposed improvements are likely to cause substantial environmental damage and/or substantially and avoidably injure fish or wildlife or their habitat.
5. The design of the subdivision and the type of improvements are likely to cause serious public health problems.
6. The design of the subdivision and the type of improvements will conflict with easements of record acquired by the public at large, and no provision is made for alternate easements that are substantially equivalent to those previously acquired by the public.

- D. Rezoning - Approval
1. The public necessity and convenience, and health, safety, morals and general welfare require approval of the proposed rezoning.
 2. The rezoning is consistent with the goals and policies of the General Plan.
- E. Rezoning - Denial
1. The public necessity and convenience, and general welfare do not require approval of the proposed rezoning.
 2. The proposed rezoning is not consistent with the General Plan.
- F. Use Permits - Approval
1. The proposed use would not be detrimental to the public health, convenience, safety, and welfare, and is necessary for the promotion of the general good of the community.
 2. The proposed use will not result in material damage or prejudice to other property in the vicinity.
- G. Use Permits - Denial
1. The proposed use would be detrimental to the public health, convenience, safety, and welfare.
- AND/OR
2. The proposed use would result in material damage or prejudice to other property in the vicinity.
- H. Variance - Approval
1. There are special circumstances or conditions applying to the property which makes strict compliance with the zoning regulation difficult and cause a hardship to an abridgment of a property right of the owner of said property.
 2. Such conditions do not apply generally to other properties in the same land use district.
 3. The granting of the variances necessary for the preservation and enjoyment of substantial property rights of the applicant.
 4. The granting of the variance would not result in material damage or prejudice to other properties in the vicinity, nor be detrimental to the public health, safety, or general welfare.
- I. Variance - Denial
1. There are no special circumstances or conditions applicable to the property which make compliance with the zoning regulations difficult and cause hardship or abridgement of a property right of the owner of said property.
 2. The granting of the variance is not necessary for the preservation and enjoyment of a substantial property right of the applicant.

3. (Optional) The granting of the variance will result in material damage or prejudice to other properties in the vicinity (and/or) be detrimental to the public health, safety, and general welfare.

J. Tentative Map Extension - Denial

Denial (Recommendation but not specifically required)

1. Since the approval of the tentative map, circumstance and conditions have changed to the extent that had such circumstances existed at the time of issuance, the tentative map would not have been granted.

Section 4. Decisions.

A. Voting:

1. Approval of any request or appeal brought before the hearing body shall require the affirmative vote of no less than three of its acting members.
2. Voting upon a motion may, at the discretion of the Chair, and shall, upon request of any member, be by roll call. When voting is not by roll call, the Chair may, in the absence of objection by any member of the hearing body, declare an item to be unanimously approved.
3. A motion to adopt or approve staff recommendations or simply to approve the action under consideration shall, unless otherwise particularly specified, be deemed to include adoption of all proposed findings and execution of all actions recommended in the staff report on file in the matter.
4. A member who is absent from any portion of a hearing conducted by the hearing body may vote on the matter at the time it is acted upon by the hearing body provided that he/she has familiarized him or herself with the portion of the hearing conducted in his absence and has so stated for the record.

Section 5. Construction and Effect.

- A. These procedural rules shall be construed and applied so as to ensure a full and fair hearing of relevant evidence which is offered on a land use matter and to facilitate an orderly analysis of evidence and issues by the hearing body in such matters.
- B. Adoption and implementation of these rules shall in no way be construed to constitute a waiver of the provisions of California Code Section 65801.

ARTICLE VII

COMMISSION FUNCTIONS

Section 1. Planning Commission Functions.

The following define the functions of the Planning Commission:

- A. General Plan and Zoning implementation and administration
- B. Subdivision review and regulation
- C. Serve as the Design Review Committee
- D. Environmental assessment of public and private projects
- E. Capital Improvement Program review
- F. Duties as directed by the City Council

ARTICLE VIII
COMMISSION FINAL DETERMINATIONS

Section 1. General.

The following business shall be transacted by the Planning Commission and determinations, unless under appeal, shall be final:

- A. Tentative Parcel Maps
- B. Tentative Maps
- C. Use Permits
- D. Zoning Variances
- E. Denial of Zoning Amendments
- F. Time Extensions
- G. Environmental Assessments
- H. Mining Reclamation Plans
- I. Planning Commission By-Laws
- J. Recommendations to the various Federal, State and local agencies or organizations on land use matters
- K. Planned Unit Developments
- L. Design Review
- M. Planned Sign Programs

ARTICLE IX
COMMISSION ADVISORY DETERMINATIONS

Section 1. General.

The following business shall be transacted by the Planning Commission and recommendations shall be forwarded to the City Council in resolution form as follows:

- A. Recommendations on General Plan Amendments or Revisions
- B. Recommendations on Specific Plans
- C. Recommendations on Zoning Ordinance Revision/Updates (Including Map Amendments)
- D. Recommendations on Architectural Standards and Guidelines
- E. Recommendations on Development Plans (Preliminary and Precise)
- F. Provide annual reports to the City Council on the status of the General Plan and progress in implementation
- G. Street Name Changes
- H. Capital Improvement Plans and Programs
- I. Department Budget Matters
- J. State/Federal Environmental Assessment and Regional Environmental Reports

Chapter 2.36 PLANNING COMMISSION

Sections:

- [2.36.010](#) Establishment—Membership—Qualifications.
- [2.36.020](#) Term of office—Vacancy filling.
- [2.36.030](#) Officers and meetings—Powers and duties.
- [2.36.040](#) Travel expenses authorized when.
- [2.36.050](#) Removal from office.
- [2.36.060](#) Alternate member.

2.36.010 Establishment—Membership—Qualifications.

The planning commission for the city is established. The commission consists of five regular members, not officials of the city, to be appointed by the mayor with the approval of the city council. It is the policy of the city to allow at any time no more than one nonresident commissioner who, in any event, must reside at a place no more than five miles from City Hall. A resident commissioner who moves his residence outside of the city boundaries shall automatically vacate his office, unless there is no nonresident commissioner in office at the time, and the city council expressly appoints such member to the nonresident position. A nonresident commissioner shall automatically vacate such office if he or she moves his or her residence to a place outside the five-mile radius limit. The council may, but need not, appoint any city officer, including members of the council, as advisory members of the planning commission. Advisory members shall have no vote. (Ord. 391-84 § 1, 1984: Ord. 371-81 § 1, 1981: Ord. 320 N.S. § 1, 1973: Ord. 208 N.S. § 1, 1965)

2.36.020 Term of office—Vacancy filling.

A. Of the members first appointed, two shall be appointed for a term of one year; two for terms of two years; two for terms of three years, and one for a term of four years. Their successors shall be appointed for a term of four years.

B. If a vacancy shall occur other than by expiration of a term it shall be filled by appointment for the unexpired portion of the term. Each member shall serve until his successor is appointed and qualified. (Ord. 208 N.S. § 2, 1965)

2.36.030 Officers and meetings—Powers and duties.

A. The commission shall elect a chairman and a vice-chairman from among the appointed members for a term of one year and, subject to other provisions of law, may create and fill such other offices as it may determine necessary.

B. The commission shall hold at least one regular meeting each month. The commission shall adopt rules for the transaction of business and shall keep records of its business transactions, findings and determinations, which records shall be public records. The commission may, with the approval of the city council, appoint such officers and employees as it may deem necessary for its work, whose appointment, promotion, demotion and removal shall be subject to the same provisions of law as

govern other corresponding city employees. The commission may also recommend the employment of planning consultants and other specialists for such service as it may require.

C. The planning commission shall perform such functions and duties as are prescribed by law, and in particular as are prescribed in Chapter 3 of Title 7 of the Government Code of the state, and amendments thereto; and in addition the planning commission shall perform such other functions and duties with respect to zoning and other matters as the city council shall refer. (Ord. 208 N.S. § 4, 1965)

2.36.040 Travel expenses authorized when.

It shall be the duty of members of the commission, including advisory members and members of its staff, to inform themselves on matters affecting the functions and duties of the commission, and to that end, when authorized by the commission, may attend planning conferences or meetings of planning executives, hearings on planning legislation, or matters affecting the master plan or any part thereof, and the reasonable traveling expenses incidental to such attendances shall be charges upon the funds allocated to the commission. (Ord. 208 N.S. § 5, 1965)

2.36.050 Removal from office.

A. Any appointee member of the planning commission may be removed by the mayor at his pleasure, but such removal shall be subject to approval of the council by a majority vote. Any member of the planning commission who fails to attend three consecutive meetings of the planning commission shall be considered automatically removed and a vacancy shall be deemed to have occurred unless good cause is shown. The city council shall be the sole judge as to whether or not good cause is shown, and when it is determined that it is not, then the vacancy so created shall be filled immediately by the mayor with and subject to the approval of the city council for the unexpired portion of the term.

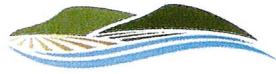
B. The members of the planning commission shall receive no compensation except such expenses as are authorized by law. (Ord. 208 N.S. § 3, 1965)

2.36.060 Alternate member.

In addition to the five regular members, the mayor, with the approval of the city council, shall appoint two resident alternate commissioners for a term of two years, who shall have all of the powers and duties of a regular commissioner except his or her right to vote shall be allowed and have legal effect only when seated as an acting commissioner in the absence of one of the regular commissioners. The position of acting commissioner shall be rotated between the alternate commissioners. (Ord. 667-2009 § 1, 2009; Ord. 444-90 § 1, 1990)

The Cloverdale Municipal Code is current through Ordinance 699-2015, passed March 25, 2015.

Disclaimer: The City Clerk's Office has the official version of the Cloverdale Municipal Code. Users should contact the City Clerk's Office for ordinances passed subsequent to the ordinance cited above.



CLOVERDALE

PLANNING COMMISSION MEMBERSHIP

According to Cloverdale Municipal Code (CMC) Section 2.36.10, the Planning Commission shall be composed of five (5) regular members appointed by the Mayor. It is also the policy of the city to allow one nonresident commissioner who must reside at a place no more than five miles from City Hall. In addition to the five regular members, the Mayor with the approval of the City Council shall appoint two resident alternate commissioners for a term of two (2) years. The current membership including appointment date and term expiration of the Planning Commission is identified in Table 1.

Table 1 – City of Cloverdale Planning Commission Membership

Name of Commissioner	Member	Date Appointed	Term Expires
Mike Shanahan	Regular	May 14, 2014	June 30, 2018
Roy Domke, Jr.	Regular	March 27, 2013	June 30, 2016
Lou Enge	Regular	June 10, 2015	June 30, 2016
Jimmy Halliday	Regular/non-resident	August 13, 2014	June 30, 2019
Bob Bialon	Regular	March 22, 2016	March 22, 2020
Shawn Bovee	Alternate	June 10, 2015	June 30, 2017
Jason Turner	Alternate	March 22, 2016	March 22, 2018

The City of Cloverdale Planning Commission fulfills duties prescribed under State law and consistent with policies established by the City Council. The Commission is the City Council's advisor on matters related to land use planning. Planning Commission decisions are subject to appeal to the Council. Planning Commissioners also have an obligation to attend Planning Commission meetings on the first Tuesdays of the month at 6:30 p.m. in the Performing Arts Center, 209 N. Cloverdale Blvd., Cloverdale, CA. In addition, special meetings may also be held at which their attendance is required.



AGENDA ITEM No. 2
City of Cloverdale
Planning Commission
Staff Report

Meeting Date:	May 3, 2016
Applicant:	Best Development Group
Property Owner:	Four R Investors LLC
Project Location:	111 Treadway Dr, Cloverdale (APN 117-040-083)
Zoning Designation:	Service Commercial (S-C)
General Plan Designation:	Service Commercial (SC)
Project Description:	Major Design Review, Plot Plan and Planned Sign Program application (DR/PP/PSP 004-2016) to allow construction of a Grocery Outlet store and related site improvements at 111 Treadway Drive
Environmental Assessment:	Categorically Exempt: Section 15332, CEQA Guidelines - In-Fill Development Projects; Exempt: Section 15183, CEQA Guidelines – projects consistent with the General Plan or zoning.

A. Staff Recommendation

That the Planning Commission consider the application and by Resolution approve the Major Design Review, Plot Plan and Planned Sign Program application (DR/PP/PSP 004-2016) to allow construction of a Grocery Outlet store and related site improvements at 111 Treadway Drive, subject to the recommended conditions of approval.

B. Background

Existing Conditions

The proposed project location is 111 Treadway Drive, at the southeast corner of Treadway Drive and Hatteras Way (Hatteras Way is currently a dead end road that ends just south of where its intersection with Treadway Drive). The 1.45 acre property is currently undeveloped and contains four trees including a 24" oak and a 24" mulberry tree along with a couple smaller trees, bushes and grasses. Although the property appears relatively flat, it slopes slightly uphill from east to west where the elevation rises four feet.

Adjacent uses are as follows:

- North: Commercial – Super 8 Hotel / Furber Ranch Plaza shopping center
- South: Commercial – Vacant / Undeveloped
- East: Commercial – Chevron gas station
- West: Residential – Single-family residence on industrially zoned land

Property Site History

Although the subject property is vacant and undeveloped, within the past 20 years two separate commercial projects previously obtained entitlements for development of the property as follows:

On April 1, 1998, the Planning Commission approved Design Review and Use Permit application UP/DR 7-97, which allowed for the construction of a two-story, 22,102 square-foot, 70-room Holiday Inn Express Hotel with 72 off-street parking spaces and related site improvements. Subsequently, the Planning Commission approved two separate one-year time extensions to the expiration date, nonetheless, the entitlements expired in 2001.

On January 3, 2007, the Planning Commission approved Design Review permit application DR 57-06 to allow for the construction of two retail commercial buildings totaling 15,952 square feet with space for 10 tenants and 75 off-street parking spaces. The Design Review permit ultimately expired in June 2010.

C. Project Description

The applicant is seeking approval of a Major Design Review, Plot Plan and Planned Sign Program application to construct a 15,655 square foot commercial building and related site improvements for a Grocery Outlet retail store. Grocery Outlet stores are typically open from 8 am to 9 pm 7 days a week and employ a total of approximately 35 employees. The number of deliveries required will be approximately two per week, typically in the morning before the store opens between 6 and 7 am.

Off-street parking for 53 vehicles, including three (3) handicapped spaces at the front of the building, as well as a recessed loading dock at the rear of the building will be provided on site (see **Attachment 3** – plan set). Access to the site would be via a new driveway on the east side of the property onto Treadway Drive, and a second new driveway onto Hatteras Way. Currently, Hatteras Way is mostly unimproved right-of-way that spans the west side of the property.

The Conditions of Approval require the applicant to construct curb, gutter, sidewalk and half street improvements plus five feet of paving along the Hatteras Way property frontage and provide a barricade at the new terminus of Hatteras Way. The conditions also provide for the opportunity for the applicant to enter into a reimbursement agreement with the City to construct the necessary public improvements required to develop Hatteras Way beyond what is required for this proposed development. In other words, half of a street but with two 12 foot wide travel lanes would be installed by the applicant to serve the Grocery Outlet store, and the applicant may enter into a reimbursement agreement to construct the rest of the width of Hatteras Way.

D. Analysis

General Plan

The site is designated Service Commercial (SC) on the City's General Plan Land Use Map. This designation provides for heavier commercial uses, including those that are automobile oriented or low impact. The following are some of the goals and policies of the City's adopted General Plan applicable to new development:

- Policy LU 1-3 encourages jobs/housing balance, (defined as a 1:1 jobs to housing ratio) by encouraging new business in the City, by encouraging housing production for local employees, and by targeting a portion of City housing funds to provide housing for essential employees who live and work in the City.
- Policy CE 3-2 seeks to provide continuous sidewalks or pedestrian ways along all streets and to maintain sidewalks in good condition.
- Policy LU 4-1 seeks to maintain and improve the design of the built environment with attractive highways frontages, well designed streetscapes and sidewalks.
- Goal LU 6 requires new development to be coordinated with the provision of infrastructure and public services.

- Goal LU 7 encourages jobs and housing nexus, providing housing for workers employed in Cloverdale, in order to reduce commuting, to support local businesses, schools, and activities by providing a base of residents who both live and work in Cloverdale.
- Policy CE 2-1 seeks to maintain a mid-Level of Service (LOS) D for automobile traffic during the weekday morning and evening peak periods at intersections of an arterial street with either another arterial or a collector street.

The proposed project will provide the City with a new business as well as job opportunities for residents and can be adequately served by existing services and utilities. Conditions of approval require public improvements including curb, gutter and sidewalk along the property’s entire Treadway Drive and Hatteras Way frontages.

A traffic study was prepared in March of 2006 for the two retail commercial buildings totaling 15,952 square feet and space for 10 tenants with 75 off-street parking spaces. The report concluded that together with implementation of all the impending commercial and residential development at the time, the traffic resulting from the construction of the two retail commercial buildings would result in a LOS C at the intersection of Treadway Drive and South Cloverdale Boulevard during peak evening commute times.

Based upon the information contained in the application materials as well as the address files for the property, as proposed, staff concludes that the project is consistent with the goals and policies of the General Plan.

Zoning / Plot Plan

The site is zoned Service Commercial (S-C) on the City’s Zoning Map. The intent of the S-C zoning district is to allow more intensive retail, service and heavy commercial uses to be established at in-town locations. Zoning adjacent to the site is as follows:

- North: Planned Development (P-D/7) – Furber Ranch Plaza shopping center
- South: Service Commercial (S-C) – Vacant / undeveloped
- East: Service Commercial (S-C) – Chevron gas station
- West: Planned Development (P-D/7) / General Industrial (M-1) – Vacant undeveloped / Single-family residence

The proposed 15,655 square-foot Grocery Outlet store is considered a general retail use under the City’s adopted Zoning Code. According to Table 18.03.030-A, general retail uses 1,501 square feet and larger are allowed in the S-C Zoning District subject to approval of a Plot Plan, which is typically completed at the staff level subject to the approval of the Planning Director. However, the project is also subject to Major Design Review by the Planning Commission under Section 18.03.150 of the Zoning Ordinance as it involves the development of vacant land with site and building improvements. For efficiency in project review and approval, both the Plot Plan and Major Design Review applications shall be considered by the Planning Commission, as allowed under Section 18.03.020.E.

The proposed project has been determined to meet the site development standards of the S-C Zoning District as set forth in Table 18.05.040-A. Although it appears from the elevations that the parapet would screen the rooftop mechanical equipment, staff has included a condition of approval requiring that prior to issuance of a Building Permit, elevations be revised to show the location and actual height of all rooftop equipment relative to nearby roof parapets. If necessary, the height of the rooftop parapets shall be increased to adequately screen the rooftop equipment in accordance with Section 18.10.060.4 of the Zoning Ordinance and the Commercial Design Guidelines.

Outdoor Lighting

The applicant has submitted an outdoor lighting plan in conformance with Section 18.09.050 of the Zoning Ordinance. The applicant is proposing pole mounted lights in the parking lot, as well as wall mounted lighting on the building facade (see **Attachment 8** – manufacturer specification sheets). The proposed light fixtures and height of the pole mounted lights are in compliance with Section 18.09.050 of the Zoning Ordinance, as well as the Commercial Design Guidelines, as the light fixtures are shielded and will provide down lighting preventing direct light from spilling onto adjacent properties. A condition of approval has been included to ensure that light trespass from the project onto adjacent properties is minimized, and that the maximum height of the pole mounted lights in the parking lot does not exceed 20 feet.

Major Design Review

Major Design Review is intended to promote high-quality design and well-built and maintained buildings, landscaping and public amenities in order to further the relationship between the appearance of buildings and structures. As stated above, Major Design Review is required for applications involving the development of vacant land with site and building improvements.

The proposed project is a single story beige and tan split face CMU and stucco building featuring light brown pillars with a stone bottom, olive green trim around the midline of most of the building as well as the base, and a red cornice trim lining the top of the building facades. The roof is proposed to be a single layer white TPO roof to prevent leaks and reduce heat gain. The actual roof would not be visible from adjoining properties or public rights-of-way due to the perimeter parapets.

The proposed architectural style, materials, finishes and colors are visually harmonious with and are generally in keeping with the Furber Ranch Plaza across the street to the north and the Chevron gas station to the east, which are comprised of CMU and stucco facades and a stone building base. The height of the single story building is approximately 33' at the tallest portion of the building, which is at the front entrance tower canopy. The proposed design complements the Furber Ranch Plaza shopping center and the Chevron gas station in both scale and character of development.

Parking areas have been primarily located to the sides of the building with the exception of nine (9) spaces along the front of the building. The parking areas are buffered and substantially screened by landscaped areas from sidewalks and public streets (see **Landscaping** section below). A loading area, trash enclosure and recessed truck dock have been located to the rear of the building. The on-site circulation pattern provided by the placement of the building and driveways onto both Treadway Drive and Hatteras Way allow large delivery trucks to maneuver on-site instead of in the public right-of-way when accessing the recessed truck dock at the rear of the building, in compliance with Section 18.11.150 of the Zoning Ordinance.

In addition to the Commercial Design Standards listed in Zoning Ordinance Section 18.10.060, the project is also subject to the City's adopted Commercial Development Design Guidelines. The provisions of the Commercial Development Design Guidelines are applicable to all commercial development within the City. The project has been designed in general compliance with the Commercial Design Standards and the Commercial Development Design Guidelines with the following exceptions as described below:

Commercial Development Design Guidelines.	
<p>Section C (Site Planning) – 2d. Parking lots should be internalized behind buildings and oriented away from street frontage.</p>	<p>Nine parking spaces would be located between the front of the building and Treadway Drive, yet the building would still be able to meet the 20-foot maximum front setback and provide emergency vehicle access with a one-way travel lane along the front of the building.</p>
<p>2f. Parking lots should provide electric car battery charging stations.</p>	<p>Staff has included a condition of approval requiring that the site plan be revised to include at least one electric vehicle charging station to the satisfaction of the Planning Director.</p>
<p>3.f. All new commercial development shall provide street trees parallel to streets in planter strips, in sidewalk, or at back of sidewalks, spaced at regular intervals along the street.</p>	<p>Section 18.11.130.2 allows for an exception to a continuous planter strip for areas providing required access. A planter strip and street trees would not be feasible along the entire Treadway Drive frontage due to a combination factors, including a need to provide emergency vehicle access around the perimeter of the building.</p>
<p>Section D (Architecture) – e. Provide shading on east, west and south walls with overhangs, awnings or deciduous trees.</p>	<p>A minimal amount of trees would be located on the east side of the building, as the landscaped area on the east side of the property would primarily be designed to facilitate drainage and help the project meet the storm water management requirements.</p>
<p>i. Building facades adjoining or oriented towards streets and pedestrian areas shall incorporate glazing at all occupied levels. Non-residential uses shall have windows, doors, display windows or arcades or arcades that make up at least 50% of the building facades that abut streets.</p>	<p>Although the amount of glazing on the north facade of the building facing Treadway Drive does not total 50% of the facade, a significant amount of glazing is provided on this facade facing the main street, Treadway Drive. The west elevation facing Hatteras Way has been treated with steel and mesh lattice features to help break up the CMU and stucco facade.</p>
<p>m. All rooftop equipment shall be screened from public view by screening materials of the same nature as the structure’s basic materials. Mechanical equipment should be located below the highest vertical element of the building.</p>	<p>Staff has included a condition of approval requiring that prior to issuance of a Building Permit, elevations be revised to show the location and actual height of all rooftop equipment relative to nearby roof parapets and if necessary, increase the height of the rooftop parapets to adequately screen the rooftop equipment from view of all neighboring properties and the public right-of-way.</p>

Parking

The project proposes 53 full size spaces, including three handicapped parking spaces located at the front of the building. Primary access to the facility is provided by two driveways; one on Treadway Drive and one on Hatteras Way. Per Table 18.11.050-A of the Zoning Ordinance, General Retail uses require one uncovered parking space per 250 square feet of gross floor area. The project proposes a 15,655 square feet of building footprint. However, Chapter 18.14 of the Zoning Ordinance defines gross floor area as the sum of the gross horizontal area of several floors of a building excluding those areas which are deemed unusable for occupant, customer or employee use such as basement and attic areas used only for storage. Based upon this definition, approximately 12,707 square feet would be the amount of floor area to be used when calculating the number of required parking spaces. Using this number of 12,707 square feet, the amount of required parking for the project is calculated as follows:

1 uncovered parking space per 250 square feet of gross floor area = 51 parking spaces

Total Off-Street Parking Spaces Required = 51 parking spaces

With the proposed 53 off-street parking spaces being located outside of all required setbacks, the project is in conformance with the off-street parking requirement of the Zoning Ordinance.

Landscaping

The applicant is proposing to landscape the site with a variety of street trees, parking lot shade trees, medium and low shrubs and ground cover/grasses. The proposed species are consistent with the City's approved plant list and the proposed design coincides with the requirements of the City's adopted Water Efficient Landscape Ordinance (WELo). Landscaping has been integrated with on-site storm water management and would be located along the Hatteras Way frontage on the west side of the property through the corner of Hatteras Way and Treadway Drive and along a portion of Treadway Drive, as well as along the east side property line. A minimum of 10% of the gross parking lot area has been provided in landscaping in the interior of the parking area including shade trees such as oaks, ash and California buckeye trees.

The interior parking lot landscaping, combined with the landscaped areas along the Treadway Drive street frontage will provide a visual screen and buffer from a majority of the parking areas from Treadway Drive. Although a landscaping strip and street trees will not be located along the entire Treadway Drive frontage, only nine (9) of the 53 parking spaces are located in front of the store, visible from the street.

However, the site plan would still be in compliance with the Zoning Ordinance even without this landscaped strip on Treadway Drive as Section 18.11.130.2 allows for an exception to this landscaping requirement for areas providing required access. A landscaping strip would not be feasible along the entire Treadway Drive frontage due to a combination factors, including access.

One factor is that the Zoning Ordinance requires the building to not be setback more than 20 feet from the front of the property. Additionally, the Fire Department requires adequate emergency vehicle access around the building, and together with the applicants own desire to provide some parking in front of the building, a need resulted to pave a portion of the frontage instead of provide a landscaped strip. Nevertheless, as this paved area would facilitate emergency vehicle access around the building, the proposed site plan and landscaping plan are in compliance with the applicable requirements of Section 18.11.130 (Landscaping for Off-Street Parking Facilities) of the Zoning Ordinance.

Signs / Planned Sign Program

Request

The applicant has requested approval of a Planned Sign Program pursuant to Section 18.12.020.2 (Planned Sign Program) to allow the following seven (7) signs as listed on Sheet 5 of the plan set (see Sheet 5 of **Attachment 3**):

1. "GROCERY OUTLET bargain market" wall sign above main entry measuring 8' tall x 27' 2" wide or 217.3 square feet
2. "Produce" wall sign to the right of the main entry measuring 2' 6" tall x 12' 10" wide or 32 square feet
3. "Dairy" wall sign to the right of the main entry measuring 2' 6" tall x 8' wide or 20 square feet
4. "Meat" wall sign to the right of the main entry measuring 2' 6" tall x 7' 8" wide or 19.1 square feet
5. "Organics" wall sign to the right of the main entry measuring 2' 6" tall x 13' 10" wide or 34.5 square feet
6. "Wine" wall sign to the right of the main entry measuring 2' 6" tall x 8' wide or 20 square feet
7. "GROCERY OUTLET bargain market" monument sign located near the driveway off of Treadway Drive measuring 4' tall x 6' wide or 24 square feet. This sign would also be mounted atop a four foot tall base for an overall sign height of 8 feet.

The total sign area represented by these seven signs totals 366.9 square feet. The applicant is requesting that some flexibility be given with respect to the City's Administrative Sign Permit limitations to allow the following:

- more than one wall sign,
- exceed the maximum sign area allowed for Individual Business Signs,
- permit a monument sign on a site with less than two businesses,
- internally illuminated monument sign.

As the applicants request exceeds the permissible thresholds for an Administrative Sign Permit, Section 18.12.020.2 requires approval of a Planned Sign Program. The reason why the applicants' request is not consistent with the Administrative Sign Permit regulations, and a comparison of similar existing signs is described in further detail below.

Zoning Regulations / Administrative Sign Permit

According to Section 18.12.030.5 (Individual Business Signs), the total amount of sign area allowed for Individual Business Signs is equal to one square foot of signage for each lineal foot of a business frontage with a public entrance that faces a public street or sidewalk. Individual Business Signs include wall signs, window signs, awning/canopy signs and projecting signs (under-canopy signs). In this case, an Administrative Sign Permit would allow for a total of 281 square feet of sign area for the wall signs, if the building featured a public entrance facing the Hatteras Way frontage. The total amount of sign area being requested by the applicant for Individual Business Signs (wall signs) is 342.9 square feet.

An Administrative Sign Permit would also limit the number of wall signs for each business to one (1) wall sign per business frontage with a public entrance that faces a public street or sidewalk. This limitation would result in a total of two (2) wall signs for the project, with one facing Hatteras Way and the other facing Treadway Drive. The applicants are requesting a total of six (6) wall signs on the Treadway Drive frontage only.

Additionally, although the applicant’s proposed plans for an 8-foot tall, 24 square foot monument sign does not exceed the 70 square foot sign area maximum and 8-foot height maximum listed in Section 18.12.030.8 (Monument Signs), this section restricts monument signs to sites with two (2) or more businesses. The only business that would be located on this site would be Grocery Outlet.

Finally, the proposed monument sign would be an internally illuminated sign featuring an “opaque” dark red background unlike the wall signs which would consist of individual internally illuminated channel letters (see **Attachment 4** for Sign Plans). Internally illuminated channel letters are allowed by the Zoning Ordinance, however internally illuminated signs are prohibited under Section 18.12.060.F (General Standards - Illumination) and would therefore not be allowed through an Administrative Sign Permit.

With respect to Section 18.12.060.F, staff has added a condition of approval requiring that prior to issuance of a Building Permit, the sign plans be revised to show that the monument sign would feature internally illuminated channel letters or downlighting mounted on top of the sign, in accordance with Section 18.12.060.

Similar sign requests

The Furber Ranch Plaza shopping center, including the Ray’s Food Place grocery store, was approved by the City Council in 1994. Subsequently, a Planned Sign Program for the center was approved by the Planning Commission on June 1, 1995. A search of the Furber Ranch Plaza shopping center sign program file revealed sign plans for the Rays’s Food Place grocery store. Below is a table comparing the applicant’s requested wall signs and sign area with the existing Ray’s Food Place wall signs and sign area.

The table below is a side by side comparison of the two stores wall signs because the Zoning Ordinance contains separate regulations specific to monument signs.

Proposed Grocery Outlet Wall Signs				Existing Ray’s Food Place Wall Signs			
Wall Sign	Height	Width	Sign Area	Wall Sign	Height	Width	Sign Area
Main Entry	8’	27’ 2”	217.3 s.f.	Main Entry	9’ 5”	34’	323 s.f.
“Produce”	2’ 6”	12’ 10”	32 s.f.	“Video”	1’ 6”	6’ 6”	9.75 s.f.
“Dairy”	2’ 6”	8’	20 s.f.	“Bakery”	1’ 6”	8’ 6”	12.75 s.f.
“Meat”	2’ 6”	7’ 8”	19.1 s.f.	“Deli”	1’ 6”	4’ 6”	6.75 s.f.
“Organics”	2’ 6”	13’ 10”	34.5 s.f.				
“Wine”	2’ 6”	8’	20 s.f.				
Total Proposed Wall Sign Area			342.9 s.f.	Total Existing Ray’s Wall Sign Area			352.25 s.f.

The table above shows that although the total number of wall signs requested by this application for Grocery Outlet is six (6) while Ray’s has four (4), the total amount of wall sign area being requested by Grocery Outlet is less than the amount of existing wall sign area for Ray’s Food Place.

Conclusion

Planned Sign Programs may allow for flexibility to the sign standards set forth in the Chapter 18.12 (Sign Regulations) of the Zoning Ordinance in order to achieve aesthetic compatibility of signs within a project, allow for design creativity and flexibility in number, size and placement of signs. In reviewing the circumstances of the site and the outcome of similar sign permit requests, staff finds that the

proposal is not excessive given that the scale of signs would be compatible with not only the size of the site and proposed building, but with existing signs approved by the Planning Commission as part of the Furber Ranch Plaza Sign Program. However, because internally illuminated signs are prohibited by the Zoning Ordinance, staff has added a condition of approval requiring that prior to issuance of a Building Permit, the sign plans be revised to show that the monument sign would feature internally illuminated channel letters or downlighting mounted on top of the sign, in accordance with Section 18.12.060.

Compatibility with Adjacent Uses

Surrounding uses to the property include the Furber Ranch Plaza across Treadway Drive to the north, a Chevron gas station to the east, and an existing single-family residence is located on the industrially zoned property to the west. The proposed hours of operation for Grocery Outlet from 8 am to 9 pm, 7 days a week is very close to the same hours for the Ray's Food Place located across the street to the north. Similarly, the delivery hours are expected to be generally in the mornings before the store opens, between 6 and 7 am, two days per week.

The project is not anticipated to cause any disruptions to traffic circulation along Treadway Drive as the submitted truck turn exhibit (see sheet 11 of **Attachment 3**) shows that there is enough room on-site for delivery trucks to make the necessary turning movements to enter and exit the truck dock without utilizing the public right-of-way.

The proposed landscape areas will serve to screen and buffer a significant amount of the parking and loading spaces from the public street and sidewalk. In addition, the building is centrally located on the site resulting in large on-site setbacks from the properties to the east, west and south. The color palette and choice of building materials for the proposed building will complement the Chevron gas station to the east, as well as the existing shopping center across the street to the north.

Based upon the information contained in the application materials as well as the address files for the property, as proposed, Staff concludes that the project would be in conformance with all applicable standards and requirements of the Zoning Ordinance.

Environmental Review

Article 19 (Categorical Exemptions) of the California Environmental Quality Act (CEQA) Guidelines includes a list of classes of projects which have been determined not to have a significant effect on the environment and are therefore exempt from the provisions of CEQA. Based upon the information contained in the application materials, the project qualifies for a Class 32 (Section 15332 – In-Fill Development Projects) CEQA exemption.

The project involves the construction of a commercial building and related site improvements for a retail store on an approximately 1.45 acre property that is located within the city limits and is substantially surrounded by urban uses. The project is consistent with all applicable General Plan policies and Zoning Ordinance designations by proposing a project that conforms to all applicable setback and parking regulations, a use that is permitted in the zoning district and by locating a new business in the City that is providing jobs for local residents. The site is not identified in the Environmental Assessment Biological Survey performed in conjunction with the 2009 General Plan as having sensitive features including habitat for endangered, rare or threatened species. The project is not anticipated to exceed the level of service standards or allowable noise and traffic levels of the General Plan, or result in air or water quality impacts. The project is consistent with the Service Commercial (S-C) zoning district and can be adequately served by existing utilities and services.

Based upon this information, and the information contained in the application materials, staff concludes the project would not have a significant effect on the environment. Therefore, an environmental document has not been prepared for the project, and on the basis of the application

materials that have been submitted and information contained within the address files for the property, the application has been determined to be categorically exempt under Section 15332 of the CEQA Guidelines – In-Fill Development Projects. Based on the application materials and the location of the project, Staff has also determined that there are no unusual circumstances related to the proposed project and none of the exceptions in CEQA Guidelines section 15300.2 would limit the above referenced categorical exemption for the project.

In addition, Section 15183 of the CEQA Guidelines provides that projects which are consistent with the development density established by general plan policies for which an EIR was certified, shall not require additional environmental review, except as might be necessary to examine whether there are project specific impacts which are peculiar to the project or its site. As discussed above, the project is consistent with the General Plan and zoning for the site. Staff has reviewed the proposed project and determined that there are no impacts that are peculiar to the project that were not analyzed in the General Plan EIR with which the project is consistent. Pursuant to Section 15183, no additional environmental review is required.

Public Notice

The Notice of Public Hearing was published in the Cloverdale Reveille and properly posted on April 21, 2016. Notice of the public hearing was also mailed to property owners within 300' of the proposed project on April 21, 2016.

Public Comments

As of the writing of this staff report, the City has received a total of three letters (see **Attachment 10** for public comment letters) from the public expressing concerns about the project. Among the primary issues raised in the letters were concerns that the project should be required to obtain a Conditional Use Permit and Design Review to ensure all necessary infrastructure is in place, and that locating the grocery store on the property would lead to congestion and competition for Furber Ranch Plaza shopping center.

As previously stated in this report, the site is zoned S-C, and in that zoning district the Zoning Ordinance requires approval of a Plot Plan and Design Review for the project. A Conditional Use Permit is not required for the project. This means that in its review of the project, the Zoning Ordinance requires the Planning Commission to consider design aspects of the project such as architecture, landscaping, lighting, parking, circulation and the overall lay out of the site. The Planning Commission is not being asked to consider whether or not a General Retail use (grocery store) is an appropriate use for the site, as that use is already permitted in the S-C Zoning District by Zoning Ordinance and was addressed in the EIR prepared for the General Plan.

The grocery store use is not expected to have a significant impact on City water supply or the wastewater treatment plant, evaluated annually for the Infrastructure Audit and deemed by the Engineering Department to be sufficient for the proposed development. The project would provide a curb, gutter and sidewalk along the Treadway Drive frontage and as stated previously in this report, conditions of approval ensure that Hatteras Way would be constructed along the length of the properties western property line.

E. Staff Recommendation

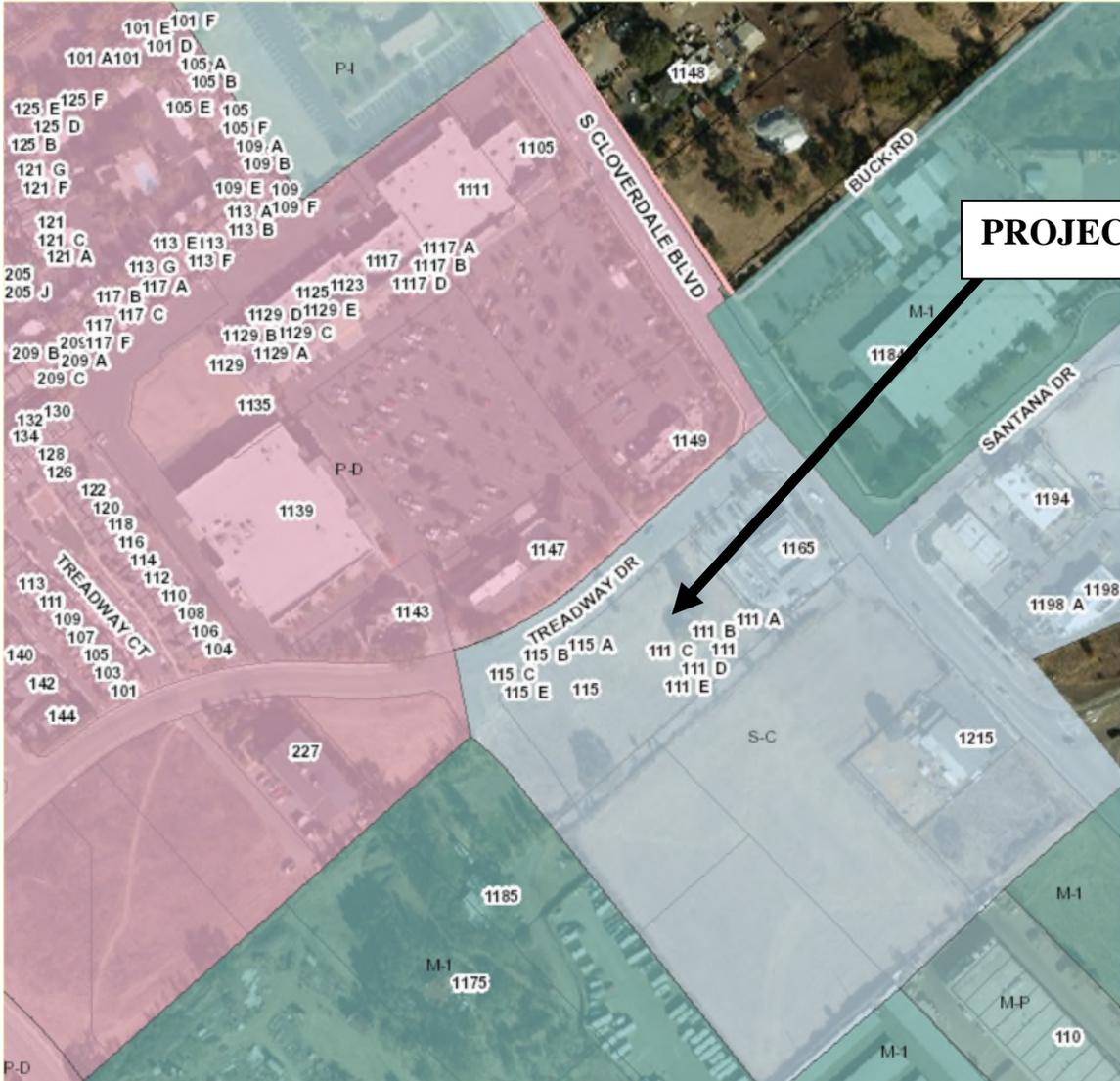
Staff recommends the Planning Commission approve the Major Design Review, Plot Plan and Planned Sign Program application (DR/PP/PSP 004-2016) to allow the new construction of a Grocery Outlet general retail store and related site improvements at 111 Treadway Drive, subject to the recommended conditions of approval.

Attachments

1. Location Map/City Zoning Map
2. Draft Resolution
3. Plan Set (date stamped April 6, 2016)
4. Sign plans (date stamped February 24, 2016)
5. Proposed Building Colors – Sheet 5
6. Proposed Building Materials – store examples
7. Site Photos
8. Light Fixture Manufacturer Specification Sheet
9. Pictures of proposed landscaping plant types
10. Public comments
 - a) Letter from Craig and Alan Furber
 - b) Letter from Susan and Steve Nurse
 - c) Letter from Roz Katz

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ATTACHMENT 1
Location Map/City Zoning Map



ATTACHMENT 2

**CITY OF CLOVERDALE
PLANNING COMMISSION
RESOLUTION NO. 08-2016**

A RESOLUTION OF THE CITY OF CLOVERDALE PLANNING COMMISSION APPROVING A MAJOR DESIGN REVIEW, PLOT PLAN AND PLANNED SIGN PROGRAM (DR/PP/PSP 004-2016) TO ALLOW CONSTRUCTION OF A COMMERCIAL BUILDING AT 111 TREADWAY DRIVE (APN 174-040-083)

WHEREAS, an application for a Major Design Review, Plot Plan and Planned Sign Program was submitted by the applicant, Best Development Group, on behalf of the property owner Four R Investors LLC, to allow construction of a 15,655 square foot commercial building for a Grocery Outlet general retail store at 111 Treadway Drive; and

WHEREAS, the site is designated Service Commercial (S-C) on the City's adopted General Plan Land Use Map and the proposal is consistent with the Service Commercial (SC) land use designation of the General Plan which is intended for heavier commercial uses; and

WHEREAS, the project would facilitate growth on existing infill lands, provide for jobs-housing balance, be adequately served by existing utilities and services, provide for new public improvements including sidewalks, and would not result in noise or traffic levels that exceed the thresholds established in the General Plan and therefore has been determined to be consistent with the goals, policies and implementation measures of the General Plan; and

WHEREAS, the site is located in the Service Commercial (S-C) Zoning District on the City's adopted Zoning Map and General Retail uses 1,501 square-feet and larger are an allowed use in the S-C Zoning District subject to approval of a Plot Plan; and

WHEREAS, per Section 18.03.150.C.3 of the Zoning Ordinance, applications involving the development of vacant land with site and building improvements are subject to Major Design Review procedures; and

WHEREAS, the project has been reviewed against the City's adopted Commercial Development Design Guidelines and the Commercial Design Standards, Chapter 18.10 of the Zoning Ordinance and has been determined to be consistent with those requirements; and

WHEREAS, the Planning Commission considered the request and a related staff report on May 3, 2016 for the purpose of reviewing the proposed Major Design Review, Plot Plan and Planned Sign Program application and considered all written and verbal communication, including the staff report; and

WHEREAS, the Applicant and members of the public were present to speak on the application; and

WHEREAS, based upon the information presented in the application materials, the Planning Commission finds that this project qualifies for a categorical exemption under California Environmental Quality Act (CEQA) Guidelines Section 15332 – Infill Development Projects. All necessary public services and facilities are available to serve the project; the surrounding area is not environmentally sensitive; the project site is less than five acres and is located within the city limits; the site has no value as habitat for endangered, rare or threatened species; approval of the project would not result in significant impacts relating to traffic, noise, air quality or water quality; and the project is consistent with both the General Plan and Zoning Ordinance; and

WHEREAS, based upon the information presented in the application materials, the Planning Commission finds that this project is consistent with the development density established by the existing zoning and general plan policies, and there are no impacts peculiar to the project that were not analyzed in the General Plan EIR. Pursuant to CEQA Guidelines section 15183, no additional environmental review is required for the project; and

WHEREAS, the Planning Commission has determined that the findings for Major Design Review required by Section 18.03.150 of the Zoning Ordinance have been met. Based on the application information and the information contained in the staff report, the following findings have been made:

1. The proposal is consistent with the General Plan, any applicable specific plan and the provisions of this Title, including but not limited to Development Standards and Design Review Standards for the district in which the property is located, and with the Design Guidelines for the City of Cloverdale and/or design guidelines for the area in which the project is located.

The project is consistent with applicable General Plan policies and will provide the City with a new business as well as job opportunities for residents. Conditions of approval require public improvements including curb, gutter and sidewalk along the property's entire Treadway Drive and Hatteras Way frontages. The project can be adequately served by existing services and utilities, and would not exceed noise or traffic thresholds established by the General Plan and therefore is determined to be consistent with the goals, policies and implementation measures of the General Plan.

Additionally, the proposed improvements are in conformance with all applicable development standards of the Zoning Ordinance, including height for the S-C Zoning District and Commercial Design Standards, as well as the Commercial Development Design Guidelines for the City, which call for proper location of building placement and screening of loading areas, landscaping and setbacks. There is no applicable specific plan.

2. The proposal will not be detrimental to the health, safety, comfort and general welfare of the persons residing or working in the neighborhood of the proposed project.

The project is not anticipated to result in noise or traffic levels that exceed the General Plan and conditions of approval ensure that the rooftop equipment would be properly screened from public view. Based upon the information contained in the application materials the project is determined to substantially meet the site development standards of the S-C zoning district as set forth in Table 18.05.040-A. The project is also subject to the requirements of the California Building Code and Fire Code to ensure the public health, safety and welfare. Finally, the building permit process and conditions of approval further ensure that the use would not be detrimental to the public health, safety or welfare.

3. The general appearance of the proposal is in keeping with the character of the neighborhood.

The proposed improvements meet the Commercial Design Standards of the Zoning Ordinance and Commercial Design Guidelines, are compatible with the Service Commercial Zoning District, and are in keeping with the commercial/retail character of the neighborhood. Similar to the loading areas for the commercial spaces at the Furber Ranch Plaza shopping center across the street, loading areas have been located to the rear of the proposed building. As a result, the project is not anticipated to cause any disruptions to traffic circulation along Treadway Drive as the submitted truck turn exhibit on sheet 11 of the submitted plan set shows that there is enough room on-site for delivery trucks to make the necessary turning movements to enter and exit the truck dock without utilizing the public right-of-way.

The proposed landscape areas will serve to screen and buffer a significant amount of the parking and loading spaces from the public street and sidewalk. In addition, the building is centrally located on the site resulting in large on-site setbacks from the properties to the east, west and south. The color palette and choice of building materials for the proposed building will complement the Chevron gas station to the east, as well as the shopping center across the street to the north.

WHEREAS, the Planning Commission has determined that the findings for Plot Plan Review required by Section 18.03.120 of the Zoning Ordinance have been met. Based on the application information and the information contained in the staff report, the following findings have been made:

1. The proposed project is consistent with the goals, objectives, policies and programs of the Cloverdale General Plan.

The project is consistent with applicable General Plan policies and will provide the City with a new business as well as job opportunities for residents. Conditions of approval require public improvements including curb, gutter and sidewalk along the property's entire Treadway Drive and Hatteras Way frontages. The project can be adequately served by existing services and utilities, and would not exceed noise or traffic thresholds established by the General Plan and therefore is determined

to be consistent with the goals, policies and implementation measures of the General Plan.

2. The proposed project conforms to applicable performance standards and will not be detrimental to the public health, safety or general welfare.

The project is not anticipated to result in noise or traffic levels that exceed the General Plan and conditions of approval ensure that the rooftop equipment would be properly screened from public view. Based upon the information contained in the application materials the project is determined to substantially meet the site development standards of the S-C zoning district as set forth in Table 18.05.040-A. The project is also subject to the requirements of the California Building Code and Fire Code to ensure the public health, safety and welfare. Finally, the building permit process and conditions of approval further ensure that the use would not be detrimental to the public health, safety or welfare.

3. The physical location or placement of the use on the site is compatible with the surrounding neighborhood.

The proposed improvements meet the Commercial Design Guidelines, are compatible with the Service Commercial Zoning District, and are in keeping with the commercial/retail character of the neighborhood. The General Retail use is a permitted use in the S-C Zoning District. The proposed hours of operation for Grocery Outlet from 8 am to 9 pm, 7 days a week is very similar to the hours for the Ray's Food Place located across the street to the north. Similarly, the delivery hours are expected to be generally in the mornings before the store opens, between 6 and 7 am, two days per week.

The project is not anticipated to cause any disruptions to traffic circulation along Treadway Drive as the submitted truck turn exhibit on sheet 11 of the submitted plan set shows that there is enough room on-site for delivery trucks to make the necessary turning movements to enter and exit the truck dock without utilizing the public right-of-way.

The proposed landscape areas will serve to screen and buffer a significant amount of the parking and loading spaces from the public street and sidewalk. In addition, the building is centrally located on the site resulting in large on-site setbacks from the properties to the east, west and south. The color palette and choice of building materials for the proposed building will complement the Chevron gas station to the east, as well as the shopping center across the street to the north.

WHEREAS, the Planning Commission has determined that all the following findings required by the Planned Sign Program Section 18.03.170 have been met. Based on the application information and the information contained in the staff report, the following findings have been made:

1. Signs are visually compatible with the building they identify by utilizing materials, colors, or design motif included in the building.

The proposed main entry wall sign would feature a red aluminum background with white and yellow channelized illuminated letters. The five other department wall signs would be red illuminated channelized letters. With red being a dominant color in the proposed sign plans, the beige and tan stucco and split face CMU building would feature a red top cornice lining the top of the building's facades. The monument sign has been conditioned to be constructed with internally illuminated channelized letters or downlighting in accordance with Section 18.12.060.F of the Zoning Ordinance. The proposed signs have been designed and conditioned to be visually compatible with the proposed use and conditions of the property.

2. Signs are compatible with surrounding land uses and placement, design, and lighting characteristics do not adversely affect surrounding properties.

Although the total number of wall signs requested by this application for Grocery Outlet is six (6) while Ray's Food Place located across the street has four (4), the total amount of wall sign area being requested by Grocery Outlet is less than the amount of existing wall sign area for Ray's Food Place. Similarly, the existing grocery store across the street has more than one wall sign.

The monument sign is proposed to be a maximum of eight feet tall and placed towards Treadway Drive approximately 10 feet behind the sidewalk. The wall signs are proposed to be located on the north facade of the building facing Treadway Drive. All signs are proposed and conditioned to be installed with lighting in conformance with the Zoning Ordinance and will not adversely affect surrounding properties.

3. Signs are in accordance with all applicable requirements of this code and other applicable law.

Planned Sign Programs may allow for flexibility to the sign standards set forth in the Chapter 18.12 (Sign Regulations) of the Zoning Ordinance in order to achieve aesthetic compatibility of signs within a project, allow for design creativity and flexibility in number, size and placement of signs. In reviewing the circumstances of the site and the outcome of similar sign permit requests, staff finds that the proposal would not be excessive given that the scale of signs would be compatible with not only the size of the site and proposed building, but with existing signs approved by the Planning Commission as part of the Furber Ranch Plaza Sign Program for the shopping center located across the street to the north. However, because internally illuminated signs are prohibited by the Zoning Ordinance, staff has added a condition of approval requiring that prior to issuance of a Building Permit, the sign plans be revised to show that the monument sign would feature internally illuminated channel letters or downlighting mounted on top of the sign, in accordance with Section 18.12.060. Furthermore, the conditions of approval ensure that the proposed signs will not be detrimental to the public health, safety or general welfare.

NOW, THEREFORE BE IT RESOLVED the above recitals are true and correct and incorporated herein by reference; and

NOW, THEREFORE BE IT FURTHER RESOLVED that based on the above findings, the Planning Commission of the City of Cloverdale does hereby grant a Major Design Review, Plot Plan and Sign Permit (DR/PP/PSP 004-2016) to allow the new construction of a 15,655 square foot commercial building for a Grocery Outlet general retail store at 111 Treadway Drive, subject to the conditions listed below:

CONDITIONS OF APPROVAL
GROCERY OUTLET MAJOR DESIGN REVIEW, PLOT PLAN, PLANNED SIGN PROGRAM
111 TREADWAY DRIVE

Planning:

1. Major Design Review, Plot Plan and Sign Permit (DR/PP/PSP 004-2016) approval is granted to allow construction of a 15,655 square for commercial building for a Grocery Outlet general retail store at 111 Treadway Drive, Cloverdale, CA as summarized above and shown in the plan set submitted April 6, 2016, the lighting details, monument sign and main entry wall sign plans submitted February 24, 2016 to the Community Development Department. The applicant shall adhere to the Major Design Review, Plot Plan and Planned Sign Program (DR/PP/PSP 004-2016) application materials and the conditions of approval. Minor modifications to the approved plans and/or Conditions of Approval require Community Development Department approval. More significant modifications to the approved plans and/or Conditions of Approval require Planning Commission approval.
2. This approval is subject to appeal within 10 consecutive days from the date of approval.
3. The applicant shall print all of these Conditions of Approval on the building plan set prior to issuance of the Building Permit.
4. All conditions of this Major Design Review, Plot Plan and Sign Permit (DR/PP/PSP 004-2016) are necessary to protect the general health, safety and welfare, and to minimize or eliminate adverse environmental effects of the project. If any condition of this permit is held to be invalid by a court, then the entire permit shall be invalid. The Planning Commission specifically declares that it would not have issued this permit unless all of the conditions herein are held as valid.
5. This Major Design Review, Plot Plan and Sign Permit (DR/PP/PSP 004-2016) shall expire, and become null and void, two years from the date of approval unless exercised through the issuance of a building permit, or a written request for an extension of time is submitted to the Community Development Department prior to the expiration date and an extension is granted by the Planning Commission.

6. The approval of this permit shall be subject to the latest adopted Ordinances, Resolutions, Policies and fees of the City of Cloverdale. Applicant shall be responsible for any and all costs associated with any required special inspections necessary for the project.
7. Exterior noise shall not exceed the standards of the General Plan. If noise complaints are received, the City shall investigate the complaint and if found to be a potential nuisance the applicant shall submit a noise analysis prepared by a qualified consultant that demonstrates activity is in compliance with the noise levels of the General Plan. If it is determined the standards of the General Plan are being exceeded, the applicant shall modify exterior and interior activities to gain compliance with General Plan standards, to the satisfaction of the Community Development Director.
8. Prior to issuance of a Building Permit, the site plan shall be revised to provide conduit(s) and electric panel circuiting for future voluntary electric vehicle station as elected by the tenant.

Landscaping

9. The applicant or landowner shall maintain the landscaping, all signs, buildings, lighting, and grounds of the property in good condition and in conformity with the conditions of approval, at all times. Once a deterioration of the quality of such items is noted and documented by the City, the project may be brought before the Planning Commission for enforcement action including but not limited to modification of the Major Design Review, Plot Plan and Sign Permit.
10. Landscaping and irrigation shall meet the requirements of the City's Water Efficient Landscape Ordinance and shall be installed prior to issuance of Certificate of Occupancy.

Signs

11. Prior to building permit submittal, the monument sign plans shall be revised to include internally illuminated channel letters or downlighting, to the satisfaction of the Community Development Director.

Design

12. Prior to issuance of a Building Permit, the elevations and roof plan shall be revised to show the location and actual height of all rooftop equipment relative to nearby roof parapets. If necessary, the height of the rooftop parapets shall be increased to adequately screen the rooftop equipment in accordance with Section 18.10.060.4 of the Zoning Ordinance and the Commercial Design Guidelines.

Any future mechanical equipment, whether mounted on the roof or ground, shall be screened from view through the use of landscaping or by the rooftop parapet, to the satisfaction of the Community Development Director.

13. Plans for the trash enclosure shall be submitted prior to issuance of a Building Permit confirming that enclosure will be placed on a concrete pad and have a concrete apron

with a minimum depth of 4 inches. Adequate drainage shall be provided around the pad area. The percent of grade for access to the pad shall not exceed 3%. All refuse containers shall be screened with a six-foot high (minimum) enclosure of solid masonry or concrete tilt-up with an exterior finish compatible to the main structure. Gates shall be solid, heavy-gauge metal or of a heavy-gauge metal frame with a covering of wood or other suitable, opaque material. Gates shall be secured with sturdy hinges or sliders and latches. The perimeter of the recycling and trash enclosure shall be planted where practical with drought-resistant landscaping, including a combination of shrubs and/or climbing vines.

14. Light colored and/or reflective surface coatings should be considered to reduce the 'heat island' effect of traditional asphalt parking lots.
15. All aisles, approach lanes, and maneuvering areas shall be clearly marked with directional arrows to simplify vehicular movement per Section 18.11.090.C.1 of the Zoning Ordinance. In addition to directional arrows, the Planning Director may require installation of signs to ensure safe and efficient vehicular movement.
16. Designated walkways for pedestrian access shall be clearly marked with materials distinguished from driving surfaces such as pavers, bricks, scored concrete or similar materials within parking areas per Section 18.11.100.2 of the Zoning Ordinance.

Lighting

17. All outdoor lighting fixtures shall comply with the requirements of Section 18.09.050 and shall be installed prior to issuance of Certificate of Occupancy. All building mounted, parking lot and site lighting shall be designed, located, installed, aimed downward or toward structures, shielded and maintained in order to prevent glare, light trespass and light pollution. Parking lot pole lights shall be limited to a maximum height of 20 feet.

Construction

18. If prehistoric archaeological remains such as bone, shell, worked stone objects, or human graves are unearthed during project related activities, work in the immediate vicinity of the finds shall halt until a qualified prehistoric archaeologist has evaluated the situation and made recommendations for mitigation to the resource. If human remains are encountered the Sonoma County Coroner must be notified immediately.
19. In the event that construction activities unearth materials classified as having archaeological significance, such work shall be halted and the materials assessed for their archaeological value by a qualified archaeologist. If these materials are indeed classified as being archaeologically or historically sensitive, a mitigation program shall be developed for Planning Commission review and approval by the applicant, which is designed to protect and conserve these resources.
20. If historic-period materials such as stone or adobe foundations or walls, structural remains with square nails, backfilled privies or wells, or refuse deposits are encountered, work in the immediate vicinity of the finds shall halt until a qualified

historical archaeologist has evaluated the situation and made recommendations for treatment of the resource.

21. If archaeological remains or resources are unearthed during construction or at any time in the future, all construction activity and work shall stop immediately and notify the Cloverdale Rancheria of Pomo Indians of California, currently located at 555 South Cloverdale Boulevard, Cloverdale, California.

Building:

22. All new construction and/or building modifications shall meet the applicable building and fire safety codes in effect at the time of **building permit application**. The 2013 edition of California Title 24, as adopted and amended by the City of Cloverdale, is currently in effect through December 31, 2016. Please be advised that the 2016 edition will become effective starting January 1, 2017.
23. The applicant shall submit construction documents for plan review as part of the required building permit application process. A Building Permit shall be obtained prior to construction and all work shall be inspected and approved prior to issuance of Certificate of Occupancy. The applicant shall include all conditions of approval on the building plans that are submitted to the Building Department.
24. The City of Cloverdale has adopted CALGreen Tier 1 compliance which requires exceeding the minimum energy Code compliance margin by 15 percent. One or more elective measures must be chosen from each Division of the CALGreen Code for Tier 1 compliance (such as electrical vehicle charging station(s) per Division 5.1). The applicant shall identify the Tier 1 compliance methodology on the plans and on checklists acceptable to the Building Department.
25. A design level soils report prepared by a California licensed Geotechnical Engineer is required per CBC 1803. The Geotechnical Engineer of Record shall provide a letter of review stating that the project construction documents are in conformance with the report recommendations. The Geotechnical Engineer of Record shall also provide construction observation for conformance to the report recommendations.

Public Works/Engineering:

Prior to issuance of a building permit, the following conditions shall be satisfied:

26. The applicant shall submit to the City of Cloverdale for review and approval, improvement plans prepared by a Registered Civil Engineer; and shall post sufficient surety guaranteeing the construction of any public improvements.
27. The applicant shall submit to the City of Cloverdale for review and approval, a grading plan prepared by a Registered Civil Engineer; shall obtain a Grading Permit; and shall post sufficient surety guaranteeing completion.
28. The applicant shall submit to the City of Cloverdale for review and approval, a detailed Soils Report certified by a Geotechnical Engineer registered in the State of California and qualified to perform soils work. The report shall include a minimum of

geotechnical investigation with regard to liquefaction, expansive soils, R-values for Hatteras Way and seismic safety. The grading plan shall incorporate the recommendations of the approved Soils Report.

29. The applicant shall submit to the City of Cloverdale for review and approval, street improvement plans prepared by a Registered Civil Engineer; shall enter into an agreement with the City of Cloverdale to complete the improvements; and shall post sufficient surety guaranteeing the construction of the improvements. Any necessary right-of-way required to complete the improvements will be acquired by the applicant at his expense. The improvements shall include concrete curb and gutter, sidewalk, street lights, striping, signing, paving, and any necessary transitions in accordance with the City of Cloverdale Standard Improvement Details/Caltrans Standards.
30. The applicant shall demonstrate for each building pad to the satisfaction of the City of Cloverdale as follows:
 - a. Adequate protection from 100-year frequency storm; and
 - b. Feasible access during a 10-year frequency storm
31. A copy of the applicable FIRM map and hydrology and hydraulic calculations shall be submitted with the improvement plans per current City and Sonoma County Water Agency Standards.
32. The applicant shall submit to the City of Cloverdale for review and approval, drainage plans and hydraulic calculations prepared by a Registered Civil Engineer; shall enter into an agreement with the City of Cloverdale to complete the improvement and shall post sufficient surety guaranteeing the construction of the improvements. The drainage plans and calculations shall indicate the following conditions before and after development:
 - a. Quantities of water, water flow rates, major water courses, drainage areas and patterns, diversions, collection systems, flood hazard areas, sumps and drainage courses. Hydrology shall be per current Sonoma County Water Agency Standards. Post development runoff shall be limited to predevelopment levels.
 - b. Storm drain flows post-development shall be limited to pre-development flows. Any facilities needed to accommodate this (i.e. oversized pipes, detention basins, etc.) shall be installed within the development and be privately owned and maintained.
33. The California Construction General Permit requires preparation of a storm water pollution prevention plan (SWPPP) for the project. SWPPP must be prepared by a State licensed QSD and implemented by a State licensed QSD or QSP.
34. The applicant shall design the project to include storm water post construction low-impact development best management practices (BMPs), CMC Section 16-10 et. seq. Refer to the City of Santa Rosa Low-Impact Development Manual and calculator for details. Both references are available online at:

<http://srcity.org/departments/utilities/stormwatercreeks/swpermit/Pages/swLIDtechManual.aspx>

35. The applicant shall submit to the City of Cloverdale for review and approval, evidence of provisions for ongoing maintenance of bio-retention facilities and planting areas.
36. The applicant shall indicate in writing to the City of Cloverdale the disposition of any water well(s) and any other water that may exist within the site. If any wells are proposed to be abandoned, or if they are abandoned and have not been properly sealed, they must be destroyed per Sonoma County Environmental Health Standards and/or Department of Health Services.
37. If any of the improvements which the applicant is required to construct or install is to be constructed or installed upon land in which the applicant does not have title or interest sufficient for such purposes, the applicant shall do all of the following at least 60 days prior to the filing of the final or parcel map for approval pursuant to Government Code Section 66457:
 - a. Notify the City of Cloverdale (hereafter "City") in writing that the applicant wishes the City to acquire an interest in the land which is sufficient for such purposes as provided in Government Code Section 66462.5;
 - b. Supply the City with:
 - i. a legal description of the interest to be acquired,
 - ii. a map or diagram of the interest to be acquired sufficient to satisfy the requirements of subdivision (e) of Section 1250.310 of the Code of Civil Procedure,
 - iii. a current appraisal report prepared by an appraiser approved by the City which expresses an opinion as to the current fair market value of the interest to be acquired, and
 - iv. a current Litigation Guarantee Report;
 - c. Enter into an agreement with the City, guaranteed by such cash deposits or other security as the City may require, pursuant to which the applicant will pay all of the City's cost (including, without limitation, attorney's fees and overhead expenses) of acquiring such an interest in the land.
38. All haul routes shall be approved by the City Engineer.
39. The sidewalk along the property frontage shall be repaired where needed and ADA compliant as determined by the City Engineer. The following criteria for the design of the sidewalk shall be met:
 - a. No sidewalk cross slopes over 2%.
 - b. Sidewalks to be a minimum 5 feet wide at all points.
 - c. The sidewalk shall be contained either within street right-of-way or within an access easement dedicated to the City.
 - d. The applicant shall agree to maintain the sidewalk and any related landscaping.

40. Handicap ramps and parking shall be provided as required by State of California Title 24.
41. Curb, gutter and sidewalk will be required along the entire property frontage. Improvements shall be ADA compliant and include an ADA ramp and clearance at existing streetlights and fire hydrants.
42. Install street light standard and luminaries of the design, spacing, and locations approved by the City Engineer on Hatteras Way. All street lights shall be installed with shields.
43. All overhead lines currently on the property shall be placed underground and all on-site utilities shall be underground.

In conjunction with issuance of the Building Permit, the following conditions shall be satisfied:

44. The applicant shall offer to dedicate to the City of Cloverdale for public use, all the public street right-of-way necessary to construct the Hatteras Way improvements required by condition 58.

During Construction, the following shall apply:

45. That prior to any work being conducted within the City right-of-way, the applicant shall obtain an Encroachment Permit from the appropriate agency.
46. If any hazardous waste is encountered during the construction of this project, all work shall be immediately stopped and the Sonoma County Environmental Health Department, the Fire Department, the Police Department, and the City Inspector shall be notified immediately. Work shall not proceed until clearance has been issued by all of these agencies.
47. Prior to final preparation of the subgrade and placement of base materials, all underground utilities shall be installed and service connections stubbed out behind the sidewalk. Public utilities, Cable TV, sanitary sewers, and water lines, shall be installed in a manner which will not disturb the street pavement, curb, gutter and sidewalk, when future service connections or extensions are made.
48. If grading is to take place between October 15 and April 15, both temporary and permanent erosion control plans shall be submitted for review and approval along with the grading plan. Permanent erosion control measures shall include hydro-seeding of all graded slopes within 60 days of completion of grading.
49. The developer shall keep adjoining public streets free and clean of project dirt, mud, materials, and debris during the construction period, as is found necessary by the City Engineer.
50. If any street damage occurs during construction of this project, applicant shall be responsible for repair at no cost to the City.
51. The applicant shall perform dust control at the project site to the city's satisfaction.

52. Where soil or geologic conditions encountered in grading operations are different from that anticipated in the soil and/or geologic investigation report, or where such conditions warrant changes to the recommendations contained in the original soil investigation, a revised soil or geologic report shall be submitted for approval by the City Engineer. It shall be accompanied by an engineering and geological opinion as to the safety of the site from hazards of land slippage, erosion, settlement, and seismic activity.
53. Prior to placing the final lift of asphalt, all public sanitary sewer lines shall be video inspected at the expense of the contractor/developer. All video tapes shall be submitted to the City. If any inadequacies are found, they shall be repaired prior to the placement of the final lift of asphalt.
54. Work hours are limited to Monday through Friday from 7:00 a.m. to dark, but in no case shall work continue later than 7:00 p.m. Work hours on Saturdays shall be from 8:00 a.m. to 5:00 p.m. No work shall occur on Sundays. Inspection will be available Monday through Thursday from 1:00 p.m. to 4:00 p.m. Contractors shall schedule inspections 48 hours in advance by calling the Building Department at (707) 894-1725.

Prior to acceptance of public improvements and bond exoneration, the following conditions shall be satisfied:

55. Sufficient surety (maintenance bond) guaranteeing the public improvements for a period of one year shall be provided.
56. If substantial changes in the size, alignment, grades, etc. during construction, original "as-built" plans on the standard size sheets will be certified by the Civil Engineer and returned to the City Engineer's office.

Other special conditions:

57. The applicant may enter into a reimbursement agreement with the City for reimbursement or fee credits for public improvements installed beyond those necessary to serve the proposed development.

STREET

58. Hatteras Way shall be improved along the entire frontage of the property per City Std. 204 Industrial/Commercial. Half street improvements plus 5-feet of paving shall be installed along Hatteras frontage. Additionally, paving transitions to transition the existing paving to the new section shall be provided. Any necessary right-of-way needed to accommodate these improvements shall be acquired by the applicant at their own expense.
59. All commercial driveways shall be per City Standard 209.
60. Project plans shall show driveway aprons constructed to City Standards. Construction within City right-of-way will require a separate City encroachment permit.
61. A STOP sign, limit line and stenciling shall be installed at the intersection of Hatteras Way and Treadway Drive.

62. A barricade shall be installed at the terminus of Hatteras Way per City Standard 221.
63. If any damage occurs to existing City streets during construction, the contractor/developer shall be responsible for repair at no cost to the City.
64. Any trees installed adjacent to either the sidewalk or curb and gutter must be installed with root barriers as shown in the City Standards.
65. Public utilities (gas, electric, CATV, etc.) shall be extended in Hatteras Drive to its new terminus.

STORM DRAIN

66. The proposed on-site storm drain system shall be private and privately maintained. The system shall tie into the existing 48" diameter storm drain in Treadway Drive and a new manhole shall be constructed at the tie-in point.
67. All storm drain calculations shall analyze the 10-year and 100-year frequency storms.
68. Drainage facilities shall be constructed to intercept any drainage coming from offsite properties and put into an approved storm drain system.

GRADING

69. Erosion control plan must be submitted with the grading plan. All measures must be implemented no later than Oct. 1 of any given year.
70. Dust control must be maintained to the city's satisfaction for the duration of the project.

WATER

71. If the applicant is to perform any water improvements, no valves shall be turned by the contractor and installation and testing of all water improvements must be observed by City water department.
72. A 12-inch water main shall be extended to the terminus of the proposed Hatteras Way.
73. All on-site water improvements shall be private and privately maintained. Backflow devices shall be installed at all connection points to the City water mains.
74. The applicant shall submit with the improvement plans a water analysis demonstrating that the size of lines proposed for the project are adequate for fire protection. Plans and calculations shall be submitted to both the City and Cloverdale Fire Protection District.
75. Water lines for the project shall connect to the existing 12-inch main in Treadway Drive and the proposed 12-inch line in Hatteras Way.
76. Fire hydrant requirement and placement shall be per the CFPD. If any new hydrants are required on the site, they shall be privately owned and maintained.

SEWER

77. All on-site sewer lines shall be privately owned and maintained. The connection point for the project shall be to the existing 8-inch sewer main in Treadway Drive.

Fire:

78. Verify that fire hydrants are available at the Hatteras Way and Treadway Drive curbs-cuts.

79. The radius for turning maneuvers from Hatteras Way and Treadway Drive onto the parking lot shall comply with the 20 foot inside and 40 foot outside radius.

Note: One maneuver is 180 degrees.

80. The access route at the storefront shall be a minimum of 20 feet wide.

81. Fire lane markings shall be provided in accordance with the Vehicle Code on the reduced one-way rear access route.

82. Plans submitted for a Building Permit shall comply with the adopted (2013) CA Fire and Building Codes for a Group M occupancy.

83. Fire department access roads shall be provided within 150' of all exterior building walls. Roads shall have one lift of asphalt before delivery of combustible construction.

84. The estimated fire flow, per CFC Appendix B is (un-adjusted) 2750 gpm. With sprinkler credit of 50%, the adjusted fire flow is 1500 gpm. Fire hydrant locations are sufficient. A fire hydrant wet test is needed to verify the flow and is available and for use by the sprinkler designer.

85. Private fire mains (behind the detector check), automatic fire sprinkler systems, fire alarm systems, high-piled storage and kitchen fixed extinguishing systems (if any) are reviewed and permitted by the Cloverdale Fire Protection District.

86. New buildings are required to comply with CA Fire Code "Emergency Responder Radio Coverage" system requirements or demonstrate sufficient radio signal strength.

87. Electrical and gas distribution systems in the SW corner shall be provided with vehicular protection as they are at the end of a parking space.

88. Please provide fire lane markings on access routes around the building in accordance with the Vehicle Code, i.e. red curb with "fire lane - no parking" white letters on curb faces.

89. The project has not been designed for high-pile storage (greater than 8' in retail and greater than 12' in stock rooms).

* * * * *

Resolution No. 08-2016 was duly adopted on this the 3rd day of May 2016, by the following roll call vote: (-ayes, -noes)

AYES in favor of:

NOES:

ABSTAIN:

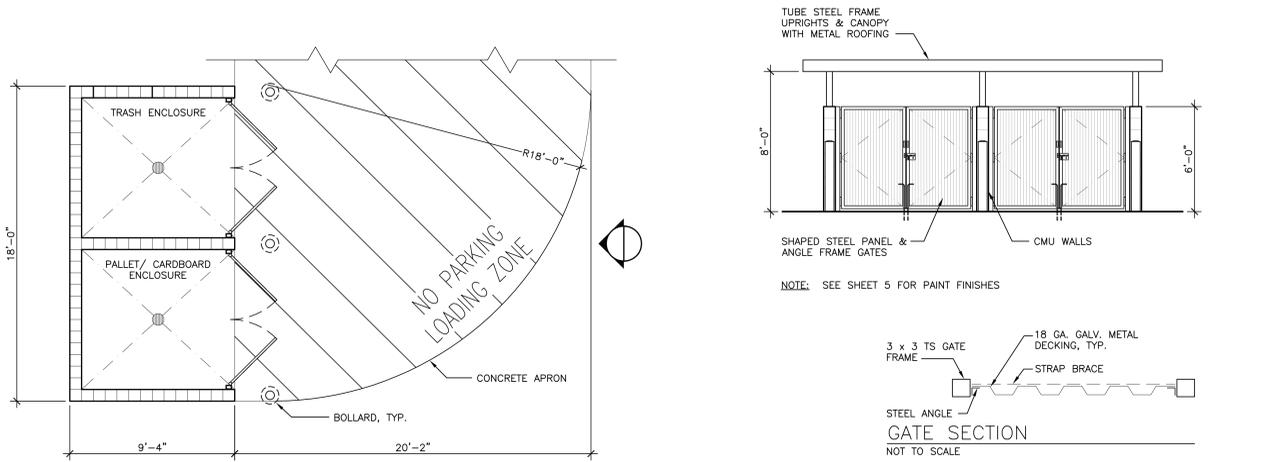
ABSENT:

Approved:

Attested:

Mike Shanahan, Chair

Linda Moore, City Clerk



TRASH ENCLOSURE PLAN & ELEVATION

FILE: GO-CLVRDL_TRASH-ENCL_2016-02-12

SCALE: 1/4" = 1'-0"

SITE ANALYSIS:

BUILDING FOOTPRINT	15,655 S.F.
CONCRETE FLATWORK	5,655 S.F.
AC PAVED AREAS	30,926 S.F.
LANDSCAPED AREAS	10,939 S.F.
SITE (GROSS)	63,175 S.F.

SITE PLAN SUMMARY

STORE LOCATION:
111 TREADWAY DRIVE

LAND AREA:
± 63,175 S.F.
± 1.45 ACRES

BUILDING:
± 15,655 S.F.
BUILDING / LAND COVERAGE = ± 24.78%

PARKING:
RETAIL SALES FLOOR = 11,560 S.F.
11,560 S.F. @ 1:250 = 47 SPACES REQUIRED
BACK OF HOUSE = 4,095 S.F.
4,200 S.F. @ 1:800 = 6 SPACES REQUIRED
TOTAL = 53 SPACES REQUIRED
PER 2013 CBC TABLE 11B-208.2
ACCESSIBLE PARKING = 3 SPACES REQUIRED

PARKING PROVIDED:

STANDARD PARKING SPACES =	48
COMPACT PARKING SPACES =	1
VAN ACCESSIBLE PARKING SPACES =	1
ACCESSIBLE PARKING SPACES =	2
FAMILY PARKING SPACES =	1
TOTAL =	53

BEST DEVELOPMENT GROUP
2580 SIERRA BLVD., SUITE # E
SACRAMENTO, CA 95825

PROPOSED TENANT:
GROCERY OUTLET INC.
5650 HOLLIS STREET
EMERYVILLE, CA 94608

SHELL DESIGN FOR:
STORE #
CLOVERDALE
111 TREADWAY DRIVE
CLOVERDALE, CA 95425

PLANNING SUBMITTAL

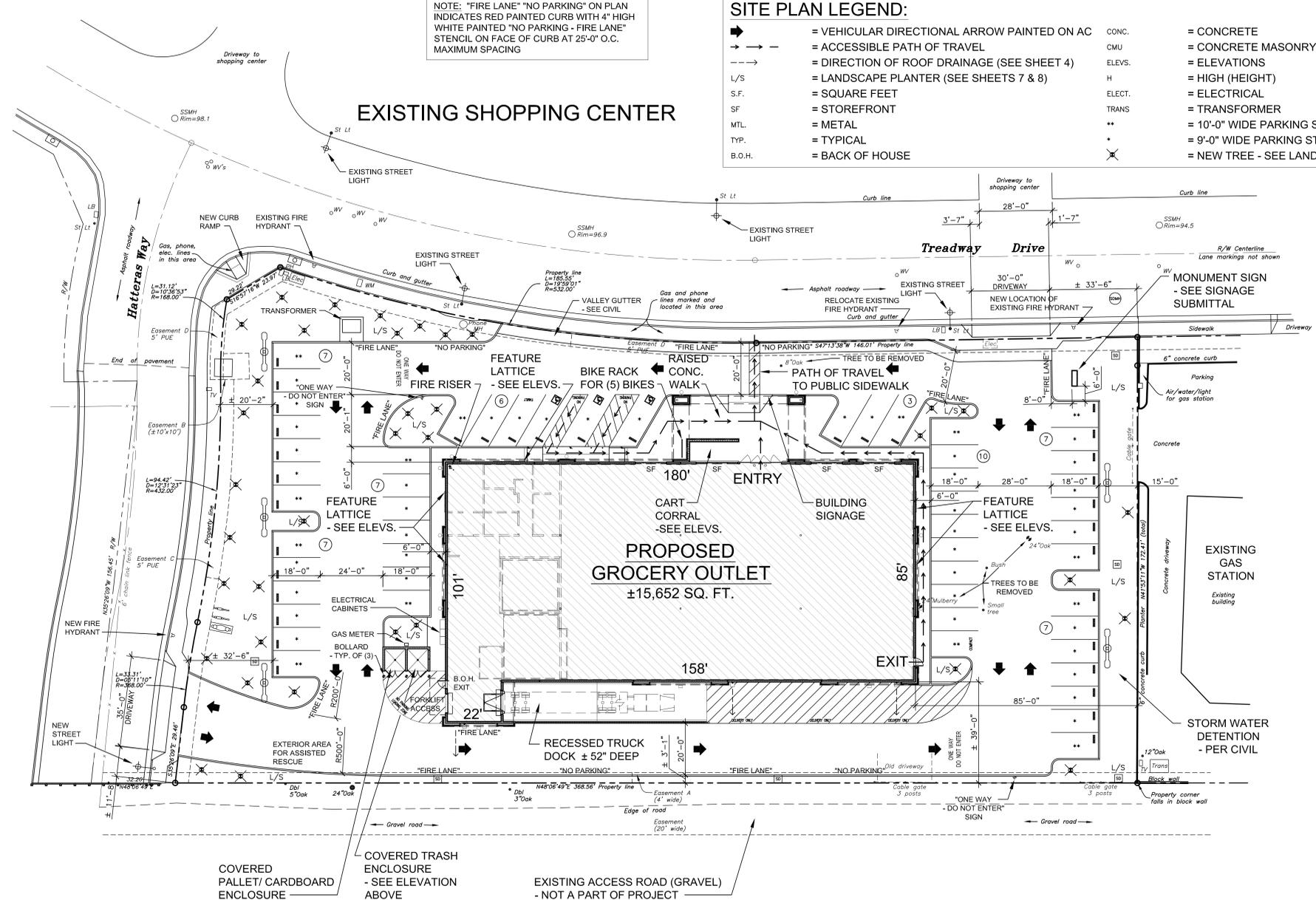
PROPOSED BUILDING PLANNING SUBMITTAL SHEET INDEX :

SHEET 1	SITE PLAN
SHEET 2	FLOOR PLAN
SHEET 3	FIXTURE PLAN
SHEET 4	ROOF PLAN
SHEET 5	ELEVATIONS
SHEET 6	GRADING, DRAINAGE & UTILITY PLAN
SHEET 7	LANDSCAPE SCHEME
SHEET 8	ENLARGED LANDSCAPE PLANS
SHEET 9	SITE LIGHTING PLAN
SHEET 10	ALTA /ACSM SURVEY
SHEET 11	TRUCK TURN EXHIBIT

SITE PLAN LEGEND:

➔	= VEHICULAR DIRECTIONAL ARROW PAINTED ON AC CONC.	= CONCRETE
➔	= ACCESSIBLE PATH OF TRAVEL CMU	= CONCRETE MASONRY UNIT
➔	= DIRECTION OF ROOF DRAINAGE (SEE SHEET 4) ELEV.	= ELEVATIONS
L/S	= LANDSCAPE PLANTER (SEE SHEETS 7 & 8) H	= HIGH (HEIGHT)
S.F.	= SQUARE FEET ELEC.	= ELECTRICAL
SF	= STOREFRONT TRANS	= TRANSFORMER
MTL	= METAL **	= 10'-0" WIDE PARKING STALL
TYP.	= TYPICAL *	= 9'-0" WIDE PARKING STALL
B.O.H.	= BACK OF HOUSE ✕	= NEW TREE - SEE LANDSCAPE

NOTE: "FIRE LANE" "NO PARKING" ON PLAN INDICATES RED PAINTED CURB WITH 4" HIGH WHITE PAINTED "NO PARKING - FIRE LANE" STENCIL ON FACE OF CURB AT 25'-0" O.C. MAXIMUM SPACING

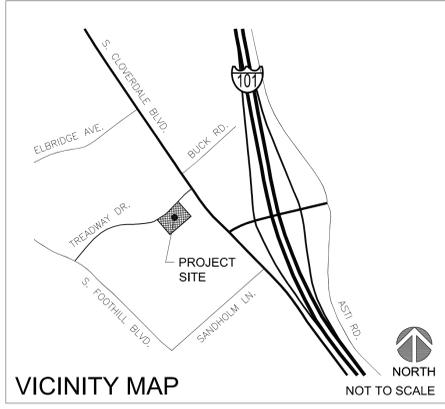


- FIRE DEPARTMENT REQUIREMENTS:**
- Comply with the adopted (2013) CA Fire and Building Codes for a Group M occupancy.
 - Fire department access roads shall be provided within 150' of all exterior building walls. Roads shall have one lift of asphalt before delivery of combustible construction.
 - The estimated fire flow, per CFC Appendix B is (un-adjusted) 2750 gpm. With sprinkler credit of 50%, the adjusted fire flow is 1500 gpm. Fire hydrant locations are sufficient. A fire hydrant wet test is needed to verify the flow is available and for use by the sprinkler designer.
 - Private fire mains (behind the detector check), automatic fire sprinkler systems, fire alarm systems, high-piled storage and kitchen fixed extinguishing systems (if any) are reviewed and permitted by the Cloverdale Fire Protection District.
 - New buildings are required to comply with CA fire code "Emergency Responder Radio Coverage" system requirements or demonstrate sufficient radio signal strength.
 - Electrical and gas distribution systems in the SW corner shall be provided with vehicular protection.
 - Provide fire lane markings on access routes around the building in accordance with the Vehicle Code, i.e. red curb with "fire lane - no parking" white letters on curb faces.
 - Project has not been designed for high-pile storage (greater than 8' in retail and greater than 12' in stock rooms).

- NOTE:**
- SEE SHEET 3 FOR OCCUPANT LOADS AND EXITING REQUIREMENT INFORMATION
 - SEE SHEET 6 FOR GRADING, DRAINAGE AND UTILITY INFORMATION
 - SEE SHEET 9 FOR SITE LIGHTING INFORMATION
 - SEE SHEET 10 FOR RECORDED EASEMENT INFORMATION

SITE PLAN

FILE: GO-CLVRDL_PLANNING_SHT-1_SITE_2016-04-01



GROCERY OUTLET
bargain market

SCALE: 1" = 20'-0"

HMR ARCHITECTS
7100 21st Street
Sacramento, CA 95838
1 916 236 2774
www.hmrarchitects.com

SITE PLAN
DRAWN BY: PAUL S. KASNER
CHECKED BY: RANDY D. REEVES

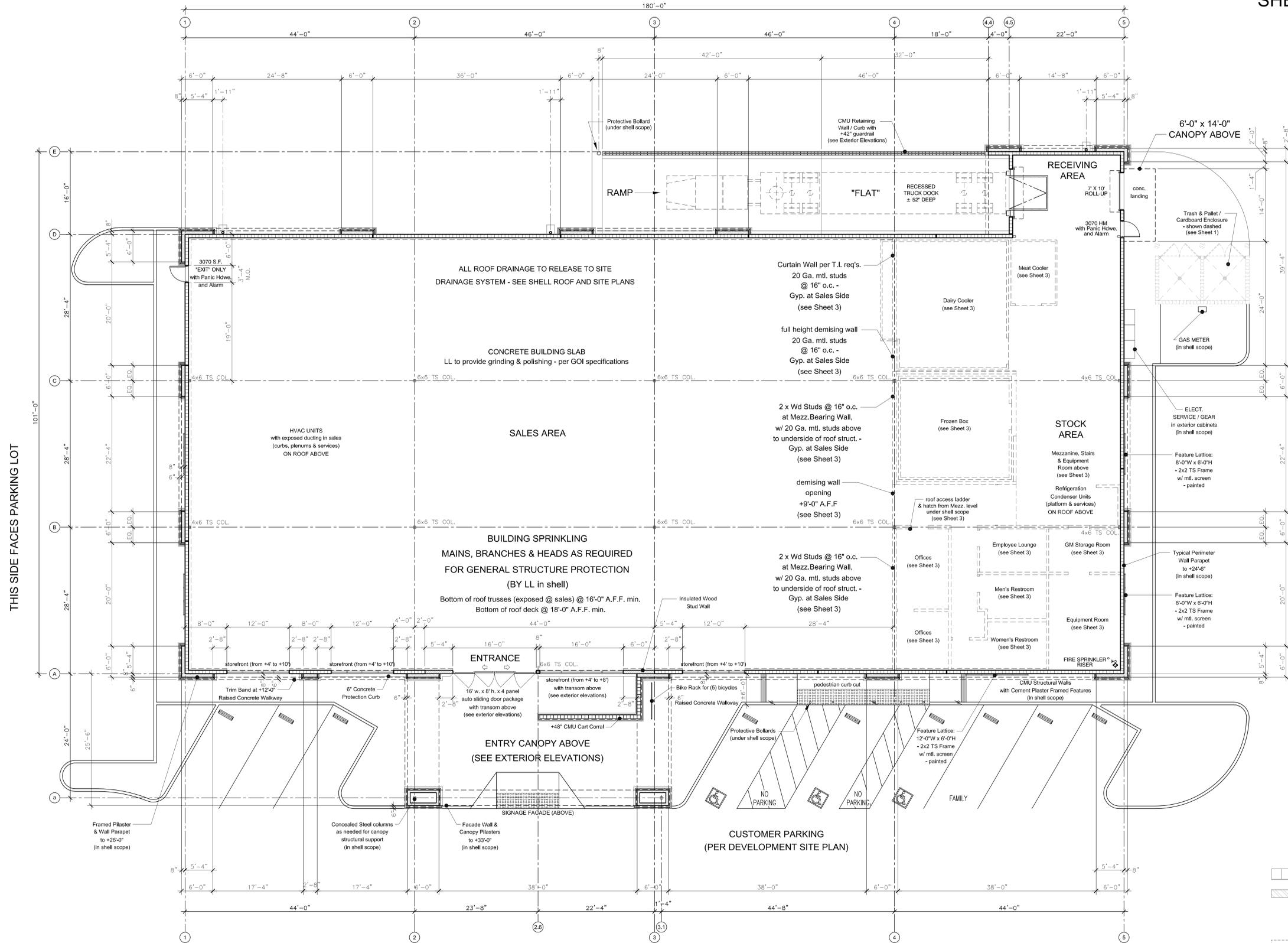
HMR JOB # 15192
APR. 1, 2016
SHEET 1

BUILDING AREAS (GROSS):

SALES = 11,560 SF

B.O.H. = 4,095 SF

SHELL = 15,655 SF



-

SHELL FLOOR PLAN

FILE: GO-CLVRDL-SHELL_PLANNING_SHT-2_FLOOR_2016-04-01



SCALE: 1/8" = 1'-0"



BEST DEVELOPMENT GROUP
2580 SIERRA BLVD., SUITE # E
SACRAMENTO, CA 95825

PROPOSED TENANT:
GROCERY OUTLET INC.
5650 HOLLIS STREET
EMERYVILLE, CA 94608

SHELL DESIGN FOR:
STORE #
CLOVERDALE
111 TREADWAY DRIVE
CLOVERDALE, CA 95425

PLANNING SUBMITTAL



ALL DIMENSIONS AND WRITTEN MATERIAL APPEARING HEREON OR ANY PART THEREOF SHALL BE BASED ON THE LATEST REVISIONS AND SHALL BE SUBJECT TO THE WRITTEN CONSENT OF HMR ARCHITECTS, INC.

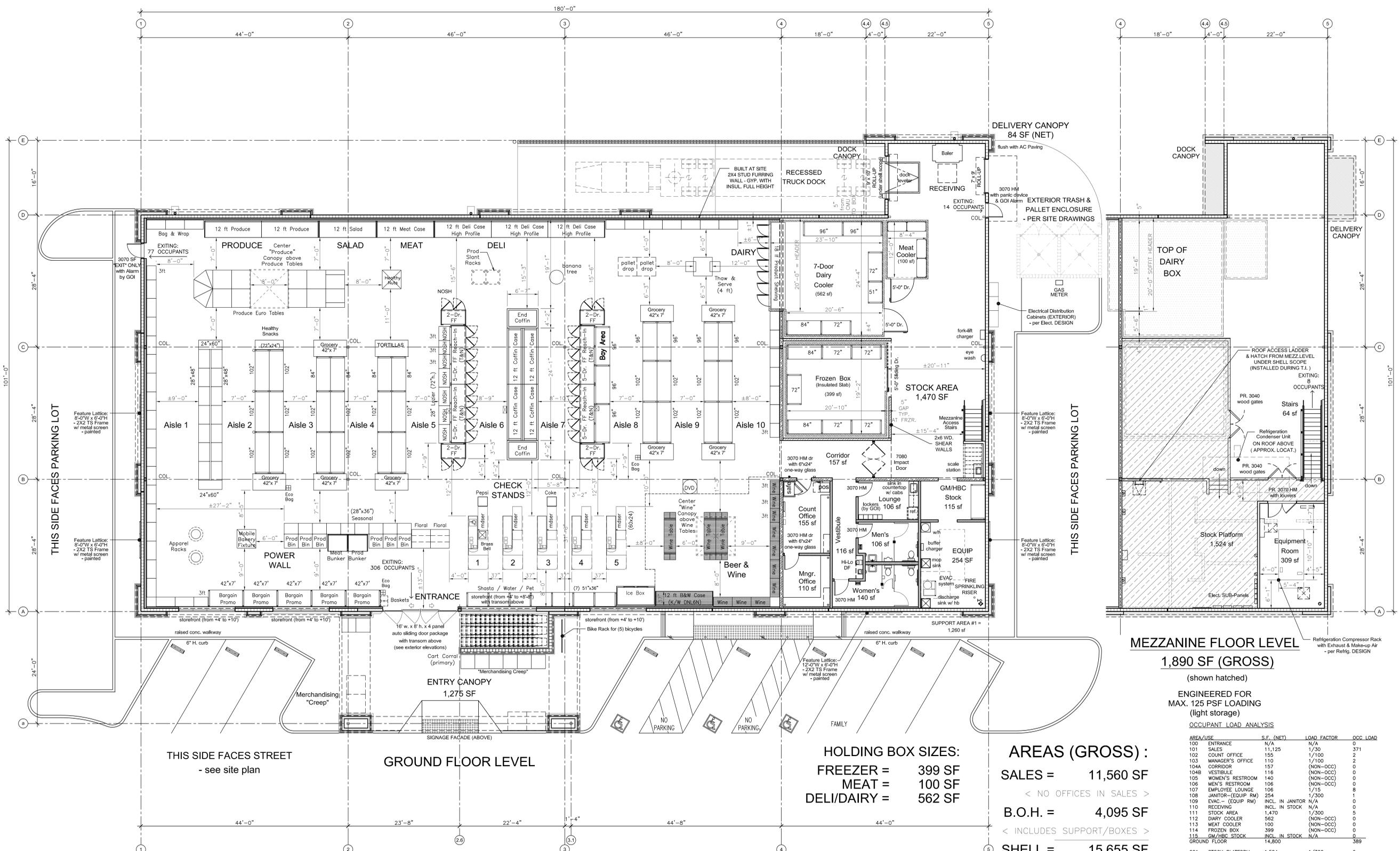
FLOOR PLAN

DRAWN BY: PAUL S. KASTNER
CHECKED BY: RANDY D. REEVES

HMR JOB #15192

APR. 1, 2016

SHEET 2



MEZZANINE FLOOR LEVEL
1,890 SF (GROSS)
(shown hatched)

ENGINEERED FOR
MAX. 125 PSF LOADING
(light storage)

OCCUPANT LOAD ANALYSIS

AREA/USE	S.F. (NET)	LOAD FACTOR	OCC LOAD
100 ENTRANCE	N/A	N/A	0
101 SALES	11,125	1/30	371
102 COUNT OFFICE	155	1/100	2
103 MANAGER'S OFFICE	110	1/100	2
104A CORRIDOR	157	(NON-OCC)	0
104B VESTIBULE	116	(NON-OCC)	0
105 WOMEN'S RESTROOM	140	(NON-OCC)	0
106 MEN'S RESTROOM	106	(NON-OCC)	0
107 EMPLOYEE LOUNGE	106	1/15	8
108 JANITOR-(EQUIP RM)	254	1/300	1
109 EVAC-(EQUIP RM)	INCL. IN JANITOR	N/A	0
110 RECEIVING	INCL. IN STOCK	N/A	0
111 STOCK AREA	1,470	1/300	5
112 DAIRY COOLER	562	(NON-OCC)	0
113 MEAT COOLER	100	(NON-OCC)	0
114 FROZEN BOX	399	(NON-OCC)	0
115 GM/HBC STOCK	INCL. IN STOCK	N/A	0
GROUND FLOOR	14,800		389
201 STOCK PLATFORM	1,524	1/300	6
202 EQUIPMENT ROOM	309	1/300	2
MEZZANINE FLOOR	1,833		8
TOTAL	16,633		397

HOLDING BOX SIZES:
FREEZER = 399 SF
MEAT = 100 SF
DELI/DAIRY = 562 SF

AREAS (GROSS):
SALES = 11,560 SF
< NO OFFICES IN SALES >
B.O.H. = 4,095 SF
< INCLUDES SUPPORT/BOXES >
SHELL = 15,655 SF

STORE AREAS:
SALES (NET) = 11,125 SF
STOCK (NET) = 1,470 SF
BOXES (NET) = 1,061 SF
STRUCT. & MISC. (GROSS) = 1,999 SF
SHELL (GROSS) = 15,655 SF
MEZZ. (GROSS) = 1,890 SF
TOTAL FLOOR (GROSS) = 17,545 SF

BEER & WINE

DESCRIPTION/REMARK:	DESCRIPTION/REMARK:
38 SF CHILLED B & W	12 LF MULTI-DECK
74 SF B & W GONDOLAS	37 LF - PER PLAN
75 SF WINE TABLES	3 UNITS - PER PLAN
- PALLET DROP	- PER PLAN
187 SF = TOTAL FIXTURES - B&W	
89 LF = TOTAL FIXTURE LENGTH - B&W	
700 SF = ALLOCATED FLOOR AREA - B&W	
6.3% = B&W RATIO TO TOTAL SALES FLOOR	

- WALL LEGEND:**
- [Symbol] = Shell Structural Walls (8" CMU)
 - [Symbol] = Bearing / Shear Walls (2x6 Studs U.N.O.)
 - [Symbol] = T.I. FULL HT. (6" Mtl. Studs)
 - [Symbol] = T.I. Partitions (4" Mtl. Studs)
 - [Symbol] = T.I. COOLER Walls (manuf.)

- INT. SIGNAGE:**
use 4'-0" package
- | Wine Perimeter | Candy Perimeter |
|----------------|-----------------|
| Base Decks 24" | Base Decks 24" |
| Shelves 20" | Shelves 20" |
| Black Color | Saraha Color |
-
- | HBC Perimeter | Seasonal | General Merch |
|----------------|----------------|----------------|
| Base Decks 24" | Base Decks 28" | Base Decks 28" |
| Shelves 24" | Shelves 24" | Shelves 24" |
| Sahara Color | Saraha Color | Saraha Color |

- [Symbol] = Brass Bell (at Chkstand #1)
- [Symbol] = Eco Bag Grids (3 per plan)
- [Symbol] = ABS Broom Holders (per plan at Cleaner Aisle)
- BUMP = Bump-Out Sections (per plan)

- Security cameras**
- [Symbol] = single dir.
 - [Symbol] = 360 deg.

FLOOR PLAN - MERCHANDISING LAYOUT

FILE: GO-CLVRDL-SHELL_PLANNING_SHT-3_FIXTURE_2016-04-01

BEST DEVELOPMENT GROUP
2580 SIERRA BLVD., SUITE # E
SACRAMENTO, CA 95825

PROPOSED TENANT:
GROCERY OUTLET INC.
5650 HOLLIS STREET
EMERYVILLE, CA 94608

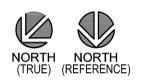
SHELL DESIGN FOR:
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PLANNING SUBMITTAL

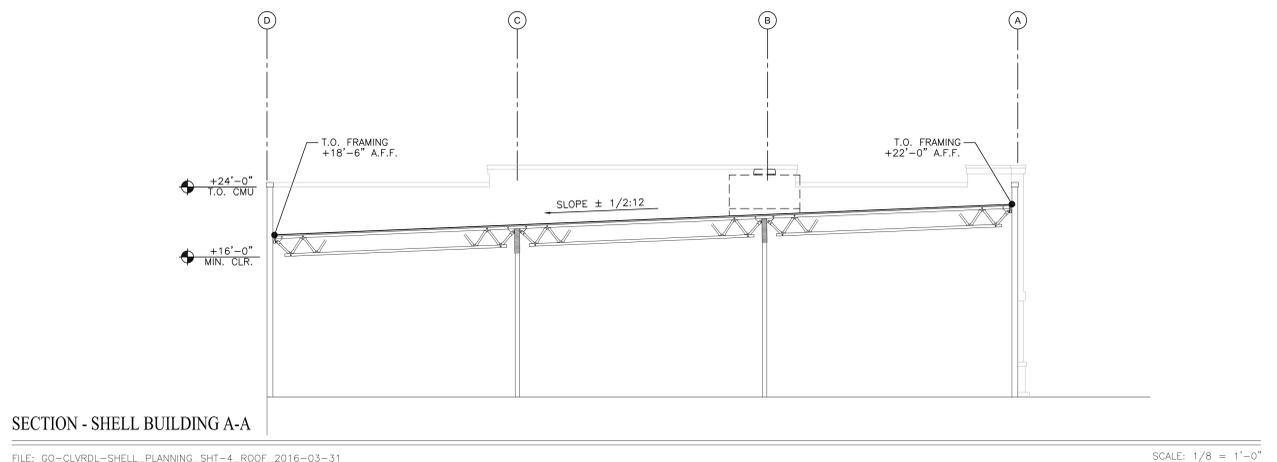
HMR ARCHITECTS
7100 21st Street
Sacramento, CA 95838
P: 916.236.2774
www.hmrarchitects.com

FIXTURE PLAN
DRAWN BY: PAUL S. KASTNER
CHECKED BY: RANDY D. REEVES

HMR JOB #15163
APR. 1, 2016
SHEET 3



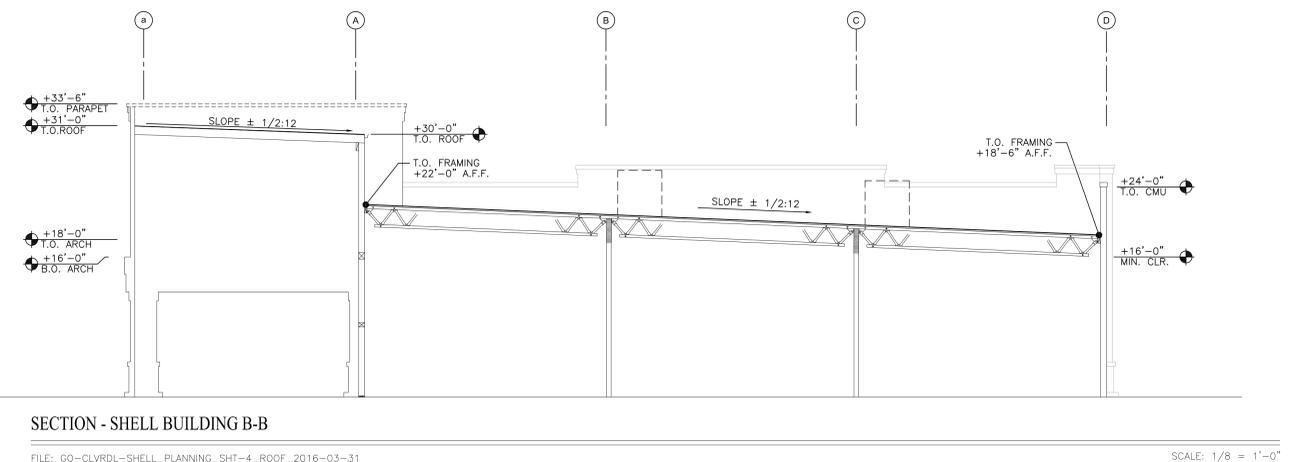
SCALE: 1/8" = 1'-0"



SECTION - SHELL BUILDING A-A

FILE: GO-CLVRDL-SHELL_PLANNING_SHT-4_ROOF_2016-03-31

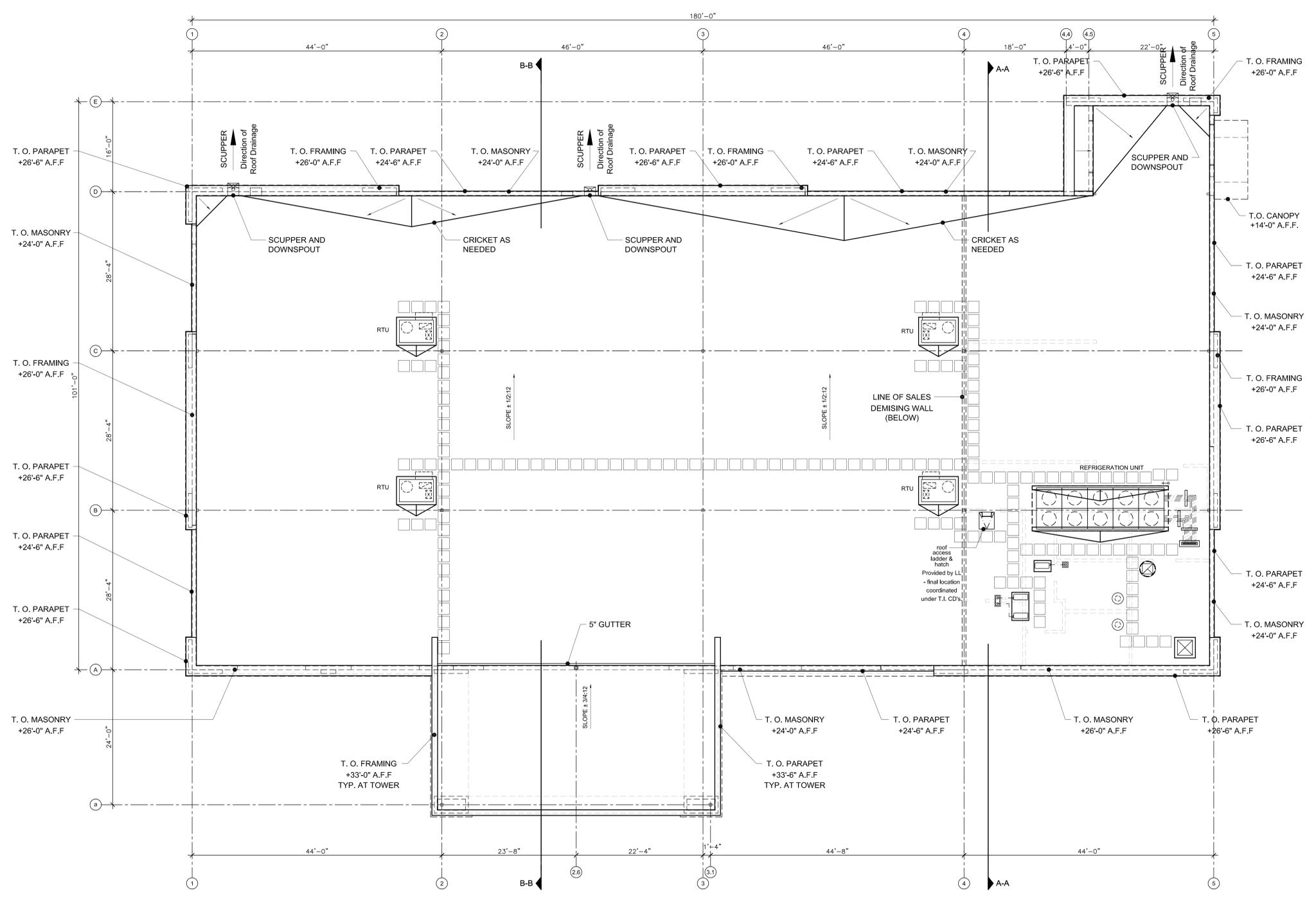
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SECTION - SHELL BUILDING B-B

FILE: GO-CLVRDL-SHELL_PLANNING_SHT-4_ROOF_2016-03-31

SCALE: 1/8 = 1'-0"



ROOF PLAN

FILE: GO-CLVRDL-SHELL_PLANNING_SHT-4_ROOF_2016-04-01

SCALE: 1/8 = 1'-0"



ROOFING AT SLOPED ROOFS AND VERTICAL TRANSITIONS:

CLASS 'A' MEMBRANE ROOFING
 60 MIL. SINGLE PLY OVER RIGID INSULATION OVER ROOF SHEATHING

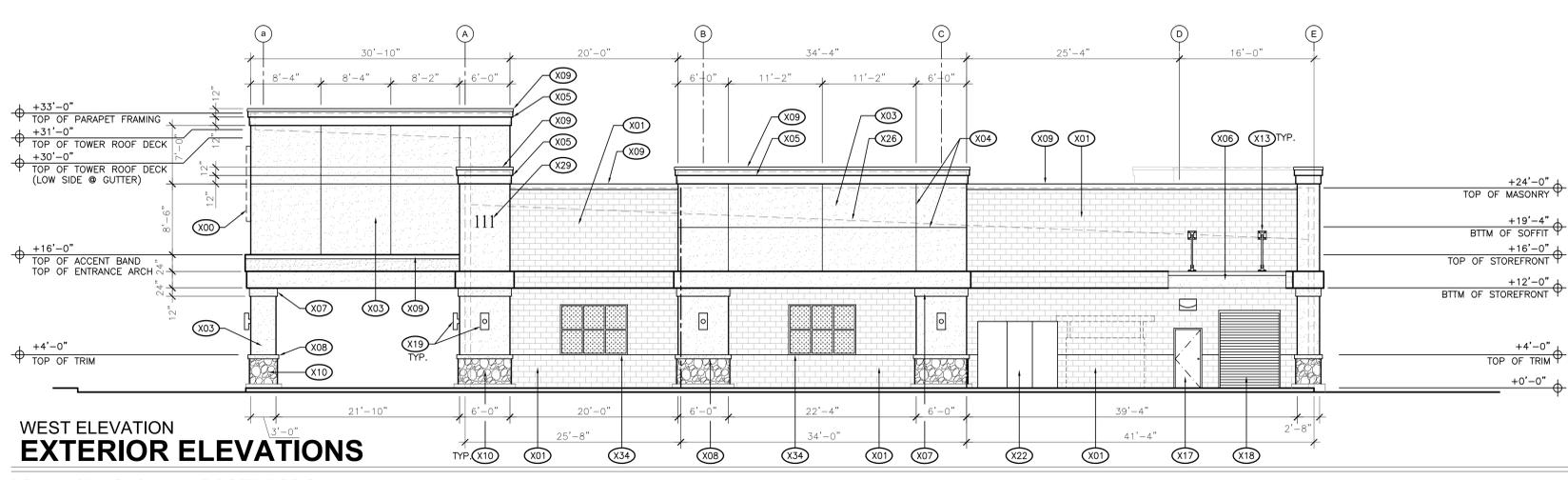
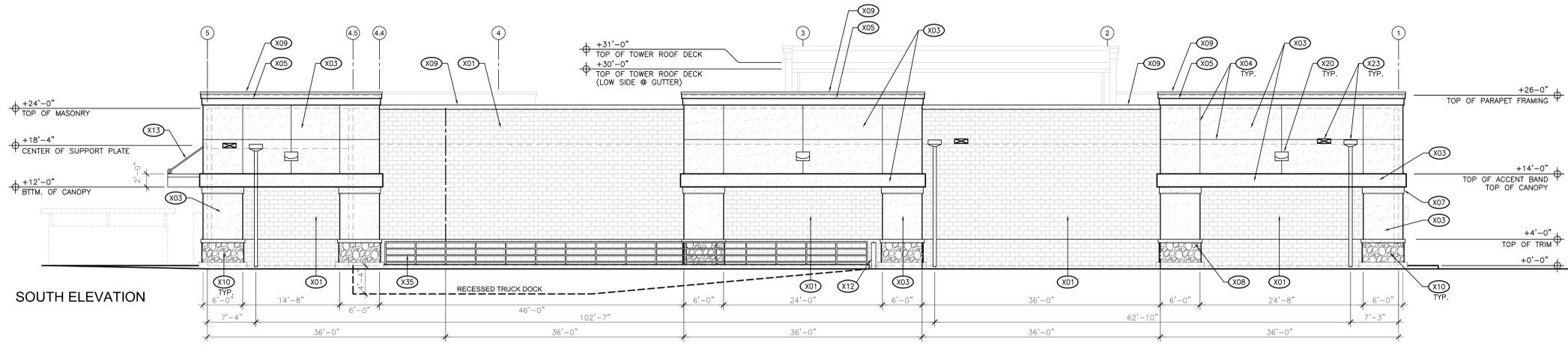
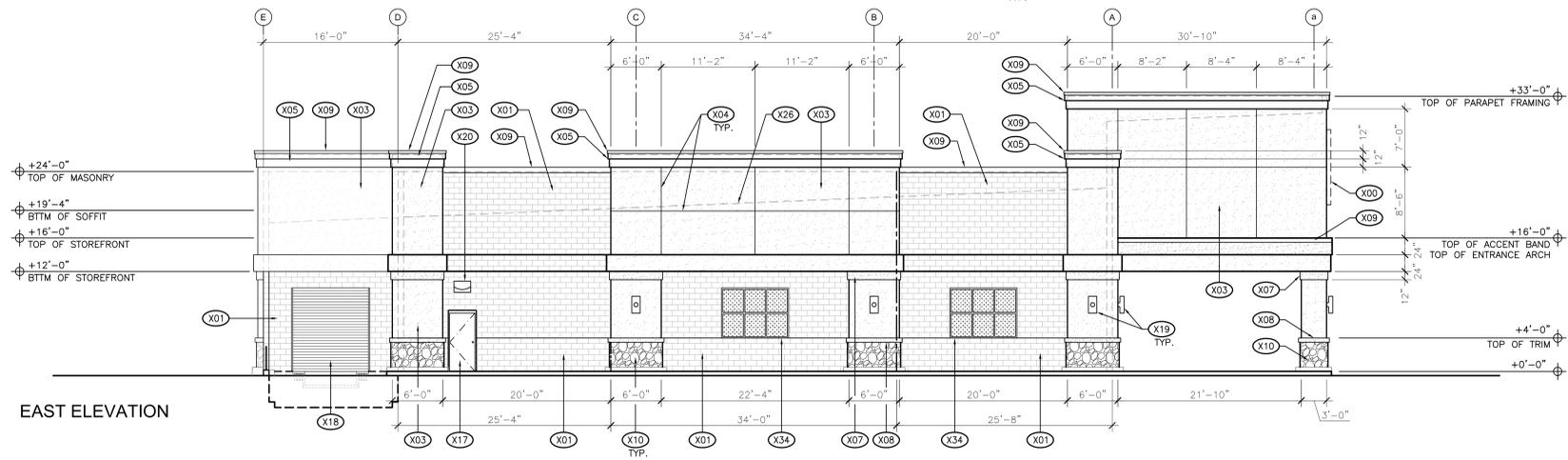
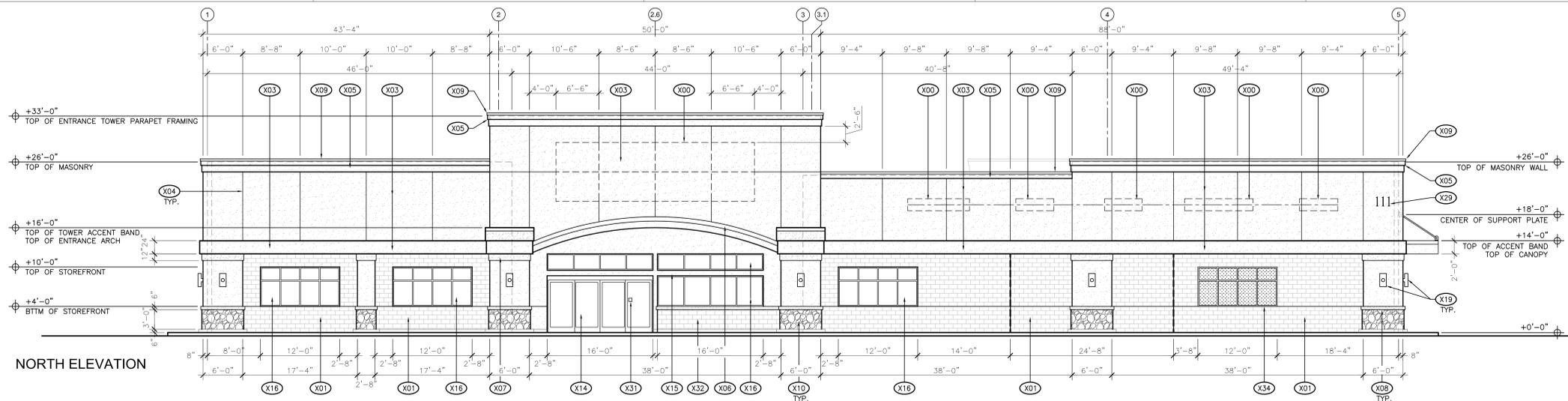
G.C. TO PROVIDE MANUFACTURER SPECIFICATIONS AND DETAILS FOR TPO SINGLE PLY SYSTEM & FLASHING WITH MECHANICAL FASTENING ON "SLOPED" OR "FLAT" ROOF AREAS AND FULLY ADHERED INSTALLATION (WITH TERMINATION BARS WHERE NECESSARY) AT ALL VERTICAL SURFACES.

ALL MEMBRANE ROOFING COMPONENTS SHALL BE OF SAME MANUFACTURER AND APPLIED/INSTALLED PER MANUFACTURER REQUIREMENTS FOR FULLY CERTIFIED ROOF ASSEMBLY.

ROOFING MANUFACTURER TO BE EVERGARD TPO (BY GAF), VERSICO VERSIWELD TPO (BY JOHNS MANSFIELD) - OR PRE-APPROVED EQUAL.

G.C. TO PROVIDE ROOF WALKWAY PADS (PER GAF DRAWING #604 OR EQUAL FOR OTHER MFR.) AS SHOWN ON ROOF PLAN.

G.C. TO VERIFY AND COORDINATE WITH TENANT IMPROVEMENT CONTRACTOR FOR FINAL PLACEMENT AS NEEDED TO MAINTAIN CLEARANCES FROM MECHANICAL EQUIPMENT CURBS AND PLATFORM TO BE DETAILED & PROVIDED UNDER STORE DESIGN CONSULTANTS.



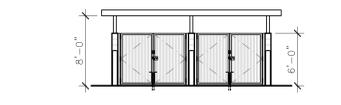
SIGN SCHEDULE						
Proposed Signage	Description	Location	Height	Width	Total Sign Area (sq. ft.)	Sign Copy
Main Entry Sign	LED Illuminated P/C Sign	Entry Canopy (Front Elevation)	8'-0"	27'-2"	Background = 217.3 sf Lettering = 105.5 sf	"GROCERY OUTLET bargain market"
Department Sign	LED Illuminated Pan Channel Letters	Front Elevation	2'-6"	12'-10"	32 sf	"Produce"
Department Sign	LED Illuminated Pan Channel Letters	Front Elevation	2'-6"	8'-0"	20 sf	"Dairy"
Department Sign	LED Illuminated Pan Channel Letters	Front Elevation	2'-6"	7'-8"	19.1 sf	"Meat"
Department Sign	LED Illuminated Pan Channel Letters	Front Elevation	2'-6"	13'-10"	34.5 sf	"Organics"
Department Sign	LED Illuminated Pan Channel Letters	Front Elevation	2'-6"	8'-0"	20 sf	"Wine"
Monument Sign	D/F Illuminated Pylon Sign	Driveway Area (see Site Plan)	4'-0"	6'-0"	24 sf	"GROCERY OUTLET bargain market"
TOTAL ALL SIGNS					366.9 SF	

EXTERIOR ELEVATIONS - COLOR SCHEDULE

- ALL PAINT COLORS BY BENJAMIN MOORE PAINTS (U.N.O.)
- 1 PAINT #1 = GUACAMOLE #2144-10
 - 2 PAINT #2 = DECATUR BUFF #HC-38
 - 3 PAINT #3 = PUTNAM IVORY #HC-39
 - 4 PAINT #4 = HERITAGE RED #PM-18 (MATCH SIGN MANUF.)

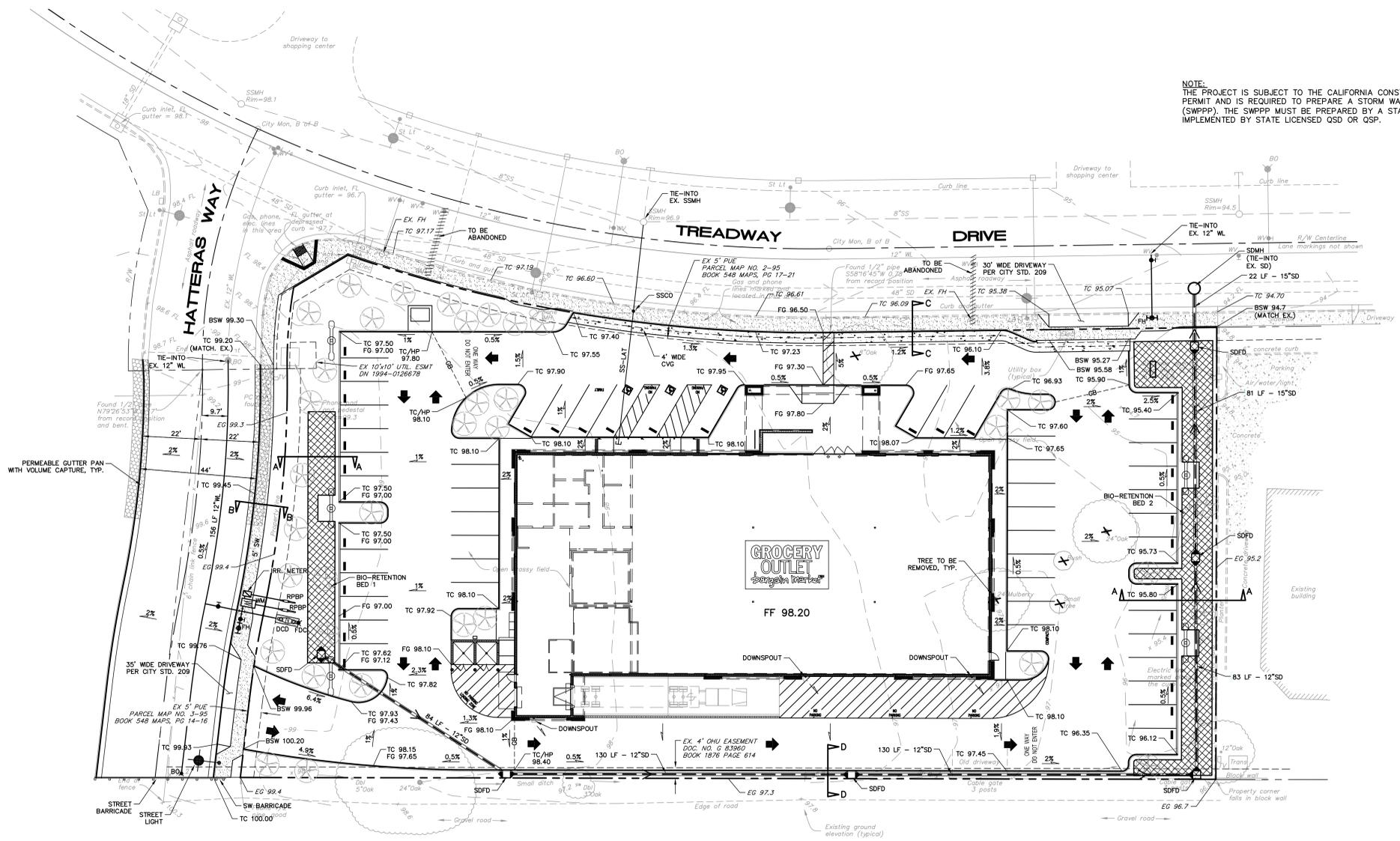
EXTERIOR ELEVATIONS - KEYNOTES

- X00 PROPOSED SIGNAGE - UNDER SEPARATE PERMIT
- X01 EXPOSED PRECISION CMU - SEAL AND PAINT PER SCHEDULE
- X02 EXPANSION JOINT - SEAL AND PAINT PER SCHEDULE
- X03 7/8" REINFORCED CEMENT PLASTER - PAINT PER SCHEDULE
- X04 G.I. CONTROL JOINT / REVEAL - PAINT PER SCHEDULE
- X05 CEMENT PLASTER CORNICE TRIM - PAINT PER SCHEDULE
- X06 CEMENT PLASTER FASCIA / SOFFIT TRIM - PAINT PER SCHEDULE
- X07 CEMENT PLASTER PILASTER CAPITOL TRIM - PAINT PER SCHEDULE
- X08 CEMENT PLASTER PILASTER SILL TRIM - PAINT PER SCHEDULE
- X09 G.I. PARAPET CAP / FLASHING - PAINT PER SCHEDULE
- X10 STONE VENEER OVER CEMENT PLASTER BROWN COAT
- X11 RAISED CONCRETE PROTECTION CURB
- X12 PIPE BOLLARD - PAINT SAFETY YELLOW
- X13 EXPOSED STEEL ROOF/CANOPY BRACES - PAINT PER SCHEDULE
- X14 STOREFRONT AUTOMATED SLIDING DOOR PACKAGE, WITH CLEAR ANODIZED ALUMINUM FRAME AND DUAL PANE NON-TINTED GLAZING
- X15 STRUCTURAL CEMENT PLASTER HEADER/JAMB FRAME
- X16 STOREFRONT WINDOWS WITH CLEAR ANODIZED ALUMINUM FRAME AND DUAL PANE NON-TINTED GLAZING
- X17 HOLLOW METAL DOOR AND FRAME - PAINT PER SCHEDULE
- X18 ROLL-UP DOOR - PAINT PER SCHEDULE
- X19 DOWNLIGHT WALL SCONCE LIGHTING FIXTURE - FACTORY PAINT PER SCHEDULE
- X20 WALL PACK LIGHTING FIXTURE - FINISH PER SCHEDULE
- X21 GAS METER (NOT SHOWN)
- X22 ELECTRICAL SERVICE CABINETS
- X23 RAINLEADER / SCUPPER (SEE ROOF PLAN)
- X24 PRE-CAST CONCRETE SPLASH BLOCK
- X25 TPO ROOFING AT CANOPY (SEE ROOF PLAN)
- X26 DASHED LINE INDICATES ROOFLINE (BEHIND)
- X27 ROOF MOUNTED HVAC UNIT (SCREENED BEHIND PARAPET) - NOT SHOWN - PROVIDED DURING TI CONSTRUCTION
- X28 ROOF MOUNTED REFR. EQUIP. (SCREENED BEHIND PARAPET) - NOT SHOWN - PROVIDED DURING TI CONSTRUCTION
- X29 ADDRESS NUMBERS TO BE PLACED IN SUCH A MANNER AS TO BE PLAINLY VISIBLE FROM THE STREET.
- X30 KNOX BOX PER LOCAL FIRE JURISDICTION REQUIREMENTS
- X31 BUILDING ACCESSIBLE ENTRANCE SIGN
- X32 CMU CART CORRAL W/ CAP - PAINT (SEE PLAN)
- X33 SHAPED STEEL PANEL & ANGLE FRAME GATES - PAINTED
- X34 TUBE STEEL FEATURE LATTICE WITH STEEL MESH - PAINT GRAY TO MATCH STOREFRONT
- X35 2" STEEL PIPE RAILING - PAINTED



TRASH ENCLOSURE ELEVATION





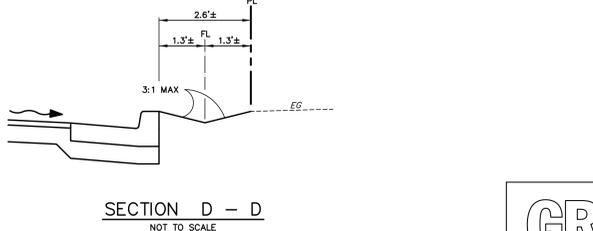
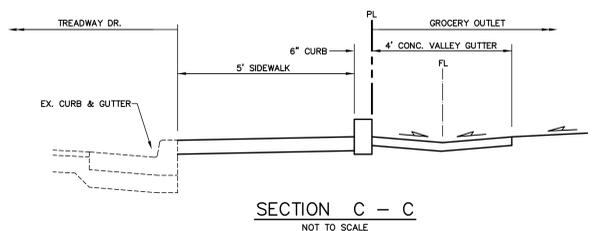
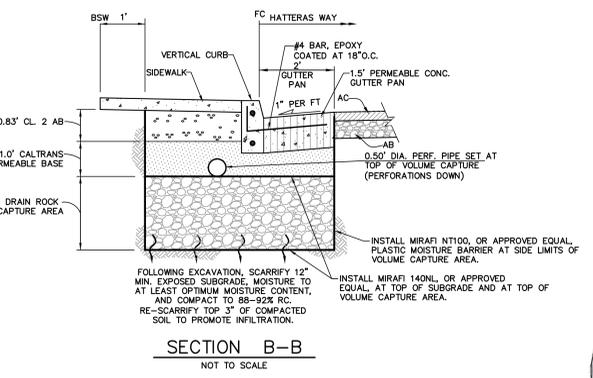
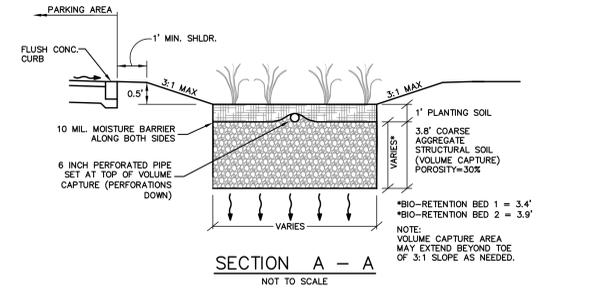
NOTE:
THE PROJECT IS SUBJECT TO THE CALIFORNIA CONSTRUCTION GENERAL PERMIT AND IS REQUIRED TO PREPARE A STORM WATER POLLUTION PLAN (SWPPP). THE SWPPP MUST BE PREPARED BY A STATE LICENSED GSD AND IMPLEMENTED BY STATE LICENSED GSD OR GSP.

ABBREVIATIONS

BO	BLOW-OFF VALVE
BSW	BACK OF SIDEWALK
CONC	CONCRETE
CVC	CONCRETE VALLEY GUTTER
DCD	DOUBLE CHECK DETECTOR
DOC	DOCUMENT
EG	EXISTING GRADE
ESMT	EASEMENT
EX	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
LAT	LATERAL
LF	LINEAR FEET
MAX	MAXIMUM
MIN	MINIMUM
NE	NORTHEAST
NO	NORTH
OHU	OVERHEAD UTILITY
PC	PROPERTY CORNER
PL	PAGE(S)
PUE	PUBLIC UTILITY EASEMENT
RPBP	REDUCED PRESSURE BACKFLOW PREVENTOR
SD	STORM DRAIN
SDFD	STORM DRAIN FIELD DRAIN
SSMH	STORM DRAIN MANHOLE
SHDR	SHOULDER
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN OUT
SSMH	SANITARY SEWER MANHOLE
STLT	STREET LIGHT
TC	TOP OF CURB
UTIL	UTILITY
WL	WATER LINE
WM	WATER METER
WV	WATER VALVE

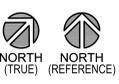
LEGEND

EXISTING	PROPOSED
STREET LIGHT	SITE LIGHT
SANITARY SEWER	SEWER LATERAL
STORM DRAIN	WATER LINE
CURB, GUTTER & SIDEWALK	STORM DRAIN
WATERLINE	CURB & GUTTER
FENCE	VERTICAL CURB
EASEMENT	SIDEWALK
TREE	CONCRETE VALLEY GUTTER
TREE (TO BE REMOVED)	BIO-RETENTION BED
	PERMEABLE GUTTER PAN WITH VOLUME CAPTURE
	CURB RAMP
	WATER SYSTEM
	DOWNSPOUT
	PROJECT BOUNDARY
	TREE



PROFESSIONAL ENGINEER - CIVIL
ANDREW BORDEN
No. 3428
DATE 4/1/16

CIVIL DESIGN CONSULTANTS, INC.
2000 Ragsdale Avenue, Suite 204
Santa Rosa, CA 95403
(707) 542-4820



SCALE: 1" = 20'-0"

The Contractor shall design and install a complete, functioning irrigation system for full coverage of the landscaped areas, in compliance with the State Model Water Efficient Landscape Ordinance, City of Cloverdale Municipal Code and the landscape specifications for this project. Since continual changes are made to the site design and landscape plan throughout the planning and permitting process, as well as during construction, the irrigation system will be designed by the landscape contractor after site paving occurs. The entire landscape has been designed with one irrigation zone by using low water requirement plants (i.e. all plants listed as drought tolerant or low water usage on the State WUCOLS IV or Santa Rosa LID Manual plant lists). Frequency and duration will be programmed in timers with consideration of the drought-tolerant nature of the native plants specified for this project, as opposed to traditional high-water-usage landscapes.

1. All plants to be installed using a mounding installation style: Upland Areas - with plugs, AB35 and 4-inch containers planted in a three-inch mound and gallon or larger plants planted in a two-inch mound to prevent installed plant burial during mulch application. Channel and slope areas receiving river run armor mulch to be installed in mounds similar to those stated above, with the addition of two-inches to each mound (small plants installed in 5-inch mounds, one gallon or larger installed in four-inch mound).
2. All planted upland areas shall be mulched with 4"-thick shredded redwood bark mulch; all channel and channel side slope areas to receive a 2"-thick layer of shredded redwood bark mulch, with a 4"-thick layer of river run rock mulch over bark mulch everywhere except un-planted rock entries/sediment trap forebays. Refer to specifications.
3. Plant installation shall be in random pattern to avoid channelization.
4. Where more than one plant species is specified in an area, approximately the same number of each species shall be planted.
5. One foot of topsoil growing medium over structural soils in bioswale areas, 8" topsoil growing medium in all upland areas, including bioswale side slopes, per Cloverdale Municipal Code (see specifications). All soil areas to receive six cubic yards of compost per 1000 square feet, tilled in to an eight inch depth.

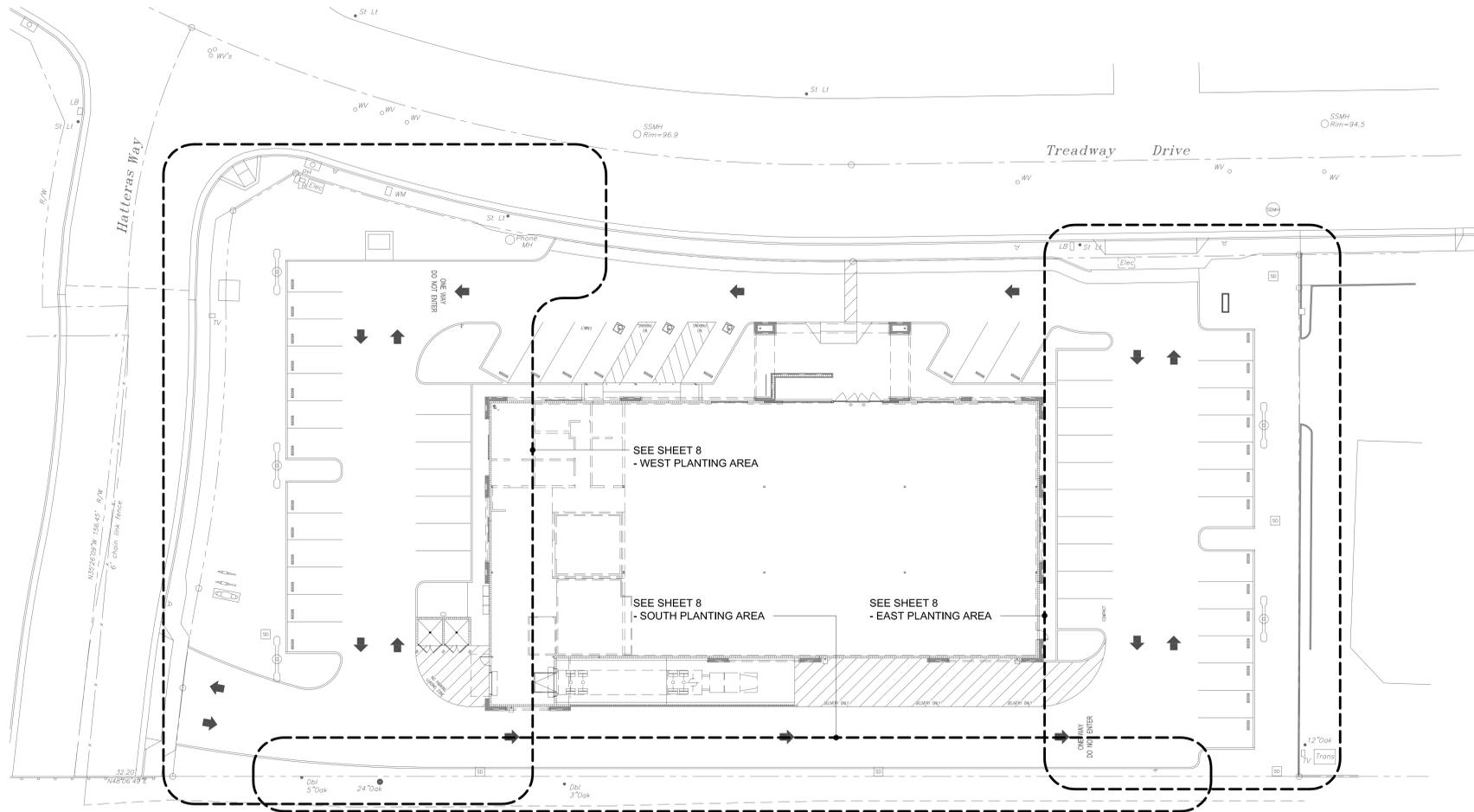


Table 1. South Landscape Plant List

Latin Name	Common Name	Map Code	# of Plants	Minimum* Spacing	Plant Size	Location	Notes
<i>Carex tumulicola</i>	Foothill Sedge	CT*	250	24"	plug	Channel	
<i>Heteromeles arbutifolia</i>	Toyon	HA	2	NA	1 gal	Upland	
<i>Juniperus scopulorum</i>	Rocky Mountain Juniper	JS	1	NA	5 gal	Upland	
<i>Sambucus mexicana</i>	Western Elderberry	SM	3	NA	1 gal	Upland	
<i>Sporobolus airoides</i>	Alkali Sacaton	AS	20	24"	1 gal	Upland	
Subtotal			61				

*Spacing roughly 24" on center along rows (two staggered rows approximately 14" apart planted semi-random)

Table 2. East Landscape Plant List, April 2016

Latin Name	Common Name	Map Code	# of Plants	Minimum* Spacing	Plant Size	Location	Notes
<i>Aesculus californica</i>	California Buckeye	AC	2	NA	5 gal	Upland	
<i>Aster x frikartii</i>	Frikart's Aster	AF	17	18"	1 gal	Upland	
<i>Achillea millefolium</i>	Yarrow	AM	4	NA	1 gal	Upland	
<i>Bulbine frutescens</i>	Dwarf Orang Bulbine	BF	28	12"	4"	Upland	
<i>Carex barbarae</i>	Santa Barbara Sedge	CB	175	36"	large plug	Channel	
<i>Cercis occidentalis</i>	Western Redbud	CO	2	NA	5 gal	Upland	
<i>Carex tumulicola</i>	Foothill Sedge	CT	50	12"	plug	Channel	
<i>Eriogonum fasciculatum</i>	Flattop Buckwheat	EF	13	12"	AB35/4"	Upland	
<i>Festuca californica</i>	California Fescue	FC	28	30"	4"	Upland	
<i>Festuca idahoensis</i>	Idaho Fescue	FI	50	14"	AB35/4"	Upland	
<i>Fraxinus latifolia</i>	Oregon Ash	FL	2	NA	5 gal	Slope	
<i>Garrya fremontii</i>	Fremont's Silk Tassel	GF	1	NA	5 gal	Upland	
<i>Juncus patens</i>	Gray Rush*	JP	140	36"	large plug	Slope	
<i>Leymus condensatus</i>	Giant Wildrye	LC	10	24"	1 gal	Upland	
<i>Muhlenbergia rigens</i>	Deergrass	MR	18	30"	1 gal	Upland	
<i>Polystichum californicum</i>	California Sword Fern	PC	5	36"	1 gal	Upland	
<i>Quercus agrifolia</i>	Coast Live Oak	QA	2	NA	15 gal	Upland	
<i>Quercus douglasii</i>	Blue Oak	QD	3	9"	5 to 15 gal	Upland	
Subtotal			550				

*Spacing roughly 36" on center all the way around bioswale side slope; patch of nine at end of bioswale channel

Table 4. West Landscape Plant List

Latin Name	Common Name	Map Code	# of Plants	Minimum* Spacing	Plant Size	Location	Notes
<i>Achillea millefolium</i>	Yarrow	AM	13	NA	1 gal	Upland	
<i>Aesculus californica</i>	California Buckeye	AC	10	NA	15 gal	Upland	
<i>Carex barbarae</i>	Santa Barbara Sedge	CB	63	36"	large plug	Channel	
<i>Carex tumulicola</i>	Foothill Sedge	CT	40	12"	plug	Channel	
<i>Cercis occidentalis</i>	Western Redbud	CO	10	NA	5 gal	Upland	
<i>Epilobium canum</i>	California Fuschia	EC	30	NA	1 gal	Upland	
<i>Eriogonum fasciculatum</i>	Flattop Buckwheat	EF	15	12"	AB35/4"	Upland	
<i>Festuca californica</i>	California Fescue and Giant Wild-rye	F.C.	131	24"	AB 35	Upland	
<i>Garrya fremontii</i>	Fremont's Silk Tassel	GF	11	NA	1 gal	Upland	
<i>Heteromeles arbutifolia</i>	Toyon	HA	24	NA	5 gal	Upland	
<i>Holodiscus discolor</i>	Ocean Spray	HD	7	NA	5 gal	Upland	
<i>Iris purdyi</i> (or) <i>douglasiana</i>	Purdy's Iris (or) Douglas Iris	IR	42	24"	1 gal	Upland	
<i>Juncus patens</i>	Gray Rush*	JP	73	36"	large plug	Slope	
<i>Leymus condensatus</i>	Giant Wildrye	LC	42	24"	1 gal	Upland	
<i>Mimulus aurantiacus</i>	Bush Monkey Flower	MA	32	NA	1 gal	Upland	
<i>Muhlenbergia rigens</i>	Deergrass	MR	12	30"	1 gal	Upland	
<i>Quercus agrifolia</i>	Coast Live Oak	QA	2	NA	15 gal	Upland	
<i>Quercus douglasii</i>	Blue Oak	QD	3	NA	15 gal	Upland	
<i>Quercus lobata</i>	Valley Oak	QL	3	NA	15 gal	Upland	
<i>Salvia sonomensis</i>	Creeping Sage	SS	86	24"	1 gal	Upland	
<i>Wyerthia angustifolia</i>	Narrow-leaf Mule Ears	WA	11	24"	4"	Upland	
Subtotal			660				

*Spacing roughly 24" on center along rows (staggered rows approximately 14" apart planted semi-random)
*Spacing roughly 36" on center all the way around bioswale side slope; patch of nine at end of bioswale channel

LANDSCAPE SCHEME KEY PLAN

FILE: GO-CLVRDL_PLANNING_SHT-7_LANDSCAPE_2016-04-01



SCALE: 1" = 20'-0"



BEST DEVELOPMENT GROUP
2580 SIERRA BLVD., SUITE # E
SACRAMENTO, CA 95825

PROPOSED TENANT:
GROCERY OUTLET INC.
5650 HOLLIS STREET
EMERYVILLE, CA 94608

SHELL DESIGN FOR:
STORE # _____
CLOVERDALE
111 TREADWAY DRIVE
CLOVERDALE, CA 95425

PLANNING
SUBMITTAL

HMR ARCHITECTS
7100 21st Street
Sacramento, CA 95838
1 916 232-2774
www.hmrarchitects.com

ALL DIMENSIONS AND WRITTEN MATERIAL APPEARING HEREON
CONFORM TO THE LATEST EDITIONS OF THE CALIFORNIA
AND THE WRITTEN CONSENT OF HMR ARCHITECTS, INC.

LANDSCAPE
SCHEME

DRAWN BY: PAUL S. KASTNER
CHECKED BY: RANDY D. REEVES

HMR JOB # 15192

APR. 1, 2016

SHEET 7

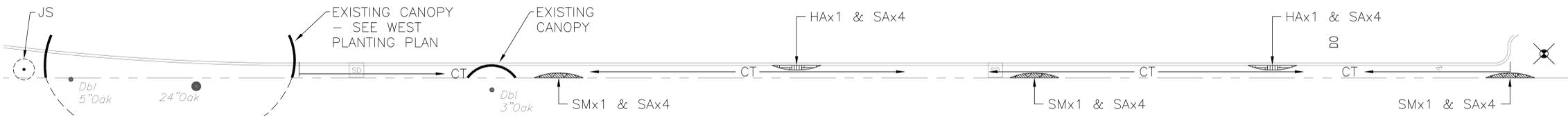


WEST PLANTING AREA

FILE: GO-CLVRDL_PLANNING_SHT-8_WEST-PLANTING-AREA_2016-01-04



SCALE: 1" = 10'-0"



SOUTH PLANTING AREA

FILE: GO-CLVRDL_PLANNING_SHT-8_SOUTH-PLANTING-AREA_2016-04-01

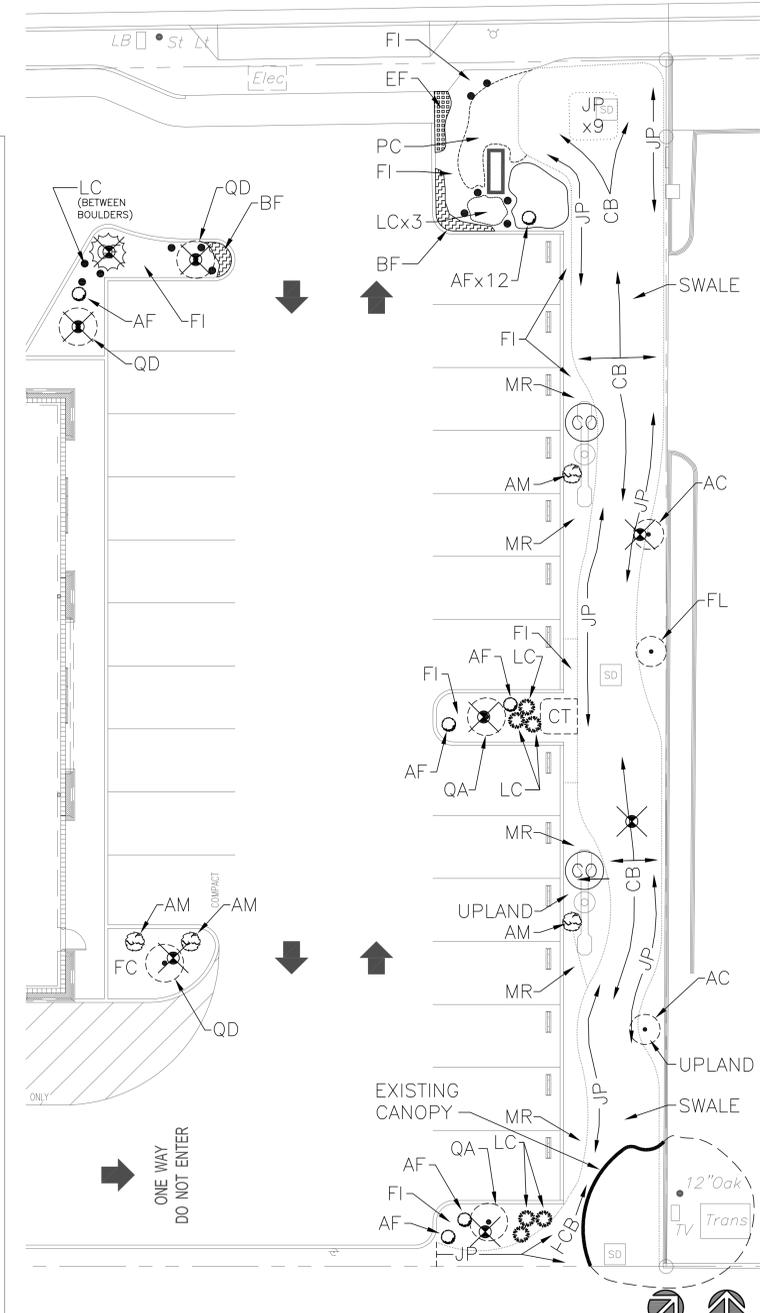


SCALE: 1" = 10'-0"

PLANT SYMBOL GUIDE

SYMBOL	LATIN NAME	COMMON NAME
AM	<i>Achillea millefolium</i>	Yarrow
AC	<i>Aesculus californica</i>	California Buckeye
AF	<i>Aster x frikartii 'Monch'</i>	Frikart's Aster
BF	<i>Bulbine frutescens 'Hallmark'</i>	Dwarf Orange Bulbine
CB	<i>Carex barbarae</i>	Santa Barbara Sedge
CT	<i>Carex tumulicola</i>	Foothill Sedge
CO	<i>Cercis Occidentalis</i>	Western Redbud
EC	<i>Epilobium canum</i>	California Fuschia
EF	<i>Eriogonum fasciculatum</i>	Flattop Buckwheat
FC	<i>Festuca californica / Elymus condensatus</i>	California Fescue & Giant Wild-rye (50 / 50)
FC	<i>Festuca californica</i>	California Fescue
FI	<i>Festuca idahoensis</i>	Idaho Fescue
FL	<i>Fraxinus latifolia</i>	Oregon Ash
GF	<i>Garrya fremontii</i>	Fremont's Silk Tassel
HA	<i>Heteromeles arbutifolia</i>	Toyon
HD	<i>Holodiscus discolor</i>	Ocean Spray
IR	<i>Iris purdyi (or douglasiana)</i>	Purdy's (or Douglas) Iris
JP	<i>Juncus patens</i>	Gray Rush
JS	<i>Juniperus scopulorum 'Skyrocket'</i>	Rocky Mountain Juniper
LC	<i>Leymus condensatus</i>	Giant Wildrye
MA	<i>Mimulus aurantiacus</i>	Bush Monkey Flower
MR	<i>Muhlenbergia rigens</i>	Deergrass
PC	<i>Polystichum californicum</i>	California Sword Fern
QA	<i>Quercus agrifolia</i>	Coast Live Oak
QD	<i>Quercus douglasii</i>	Blue Oak
QL	<i>Quercus Lobata</i>	Valley Oak
SS	<i>Salvia sonomensis</i>	Creeping Sage
SM	<i>Sambucus mexicana</i>	Western Elderberry
SA	<i>Sporobolus airoides</i>	Alkali Sacaton
WA	<i>Wyethia angustifolia</i>	Narrow-leaf Mule Ears

- SMx1 & SAx4 (1) *Sambucus mexicana* & (4) *Sporobolus airoides* (South Planting Area)
- HAX1 & SAx4 (1) *Heteromeles arbutifolia* & (4) *Sporobolus airoides* (South Planting Area)
- 18" Boulder (East & West Planting Areas)
- 12" Paver (West Planting Area)



EAST PLANTING AREA

FILE: GO-CLVRDL_PLANNING_SHT-8_EAST-PLANTING-AREA_2016-01-04



SCALE: 1" = 10'-0"

BEST DEVELOPMENT GROUP
2580 SIERRA BLVD., SUITE # E
SACRAMENTO, CA 95825

PROPOSED TENANT:
GROCERY OUTLET INC.
5650 HOLLIS STREET
EMERYVILLE, CA 94608

SHELL DESIGN FOR:
STORE #
CLOVERDALE
111 TREADWAY DRIVE
CLOVERDALE, CA 95425

PLANNING SUBMITTAL

HMR ARCHITECTS
2100 21st Street
Sacramento, CA 95818
916.442.2774
www.hmrarchitects.com

ENLARGED LANDSCAPE PLANS
DRAWN BY: PAUL S. KASTNER
CHECKED BY: RANDY D. REEVES

HMR JOB # 15192
APR. 1, 2016
SHEET 8





BETA CALCO 830-8253-AG TORRE WALL SCONCE DOWNLIGHT

BETA CALCO 830-8253-AG TORRE WALL SCONCE DOWNLIGHT (OR EQUAL):

- NOTED ON PLAN AS "WSD"
- MOUNTING HEIGHT = + 7'-0 TO BOTTOM OF FIXTURE
- LUMEN OUTPUT = 2880
- LAMP = 26W LED
- BEAM = 50° DOWN
- COLOR CCT = 4000K
- AIMING POINT = NOTED ON PLAN AS ----- ARC



LITHONIA WSTM LED 2A 40K 120 DDBXTD WALL PACK DOWNLIGHT

LITHONIA WSTM LED 2A 40K 120 DDBXTD WALL PACK DOWNLIGHT (OR EQUAL):

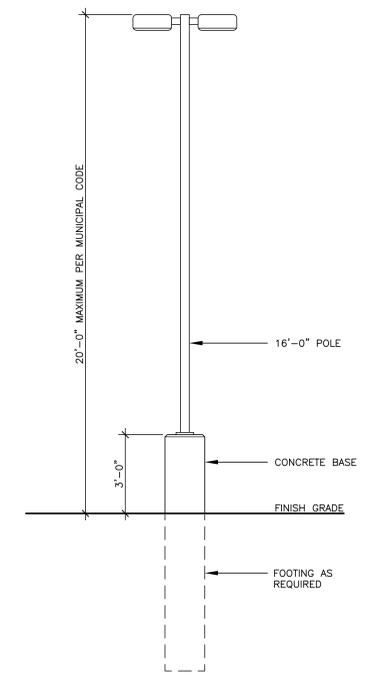
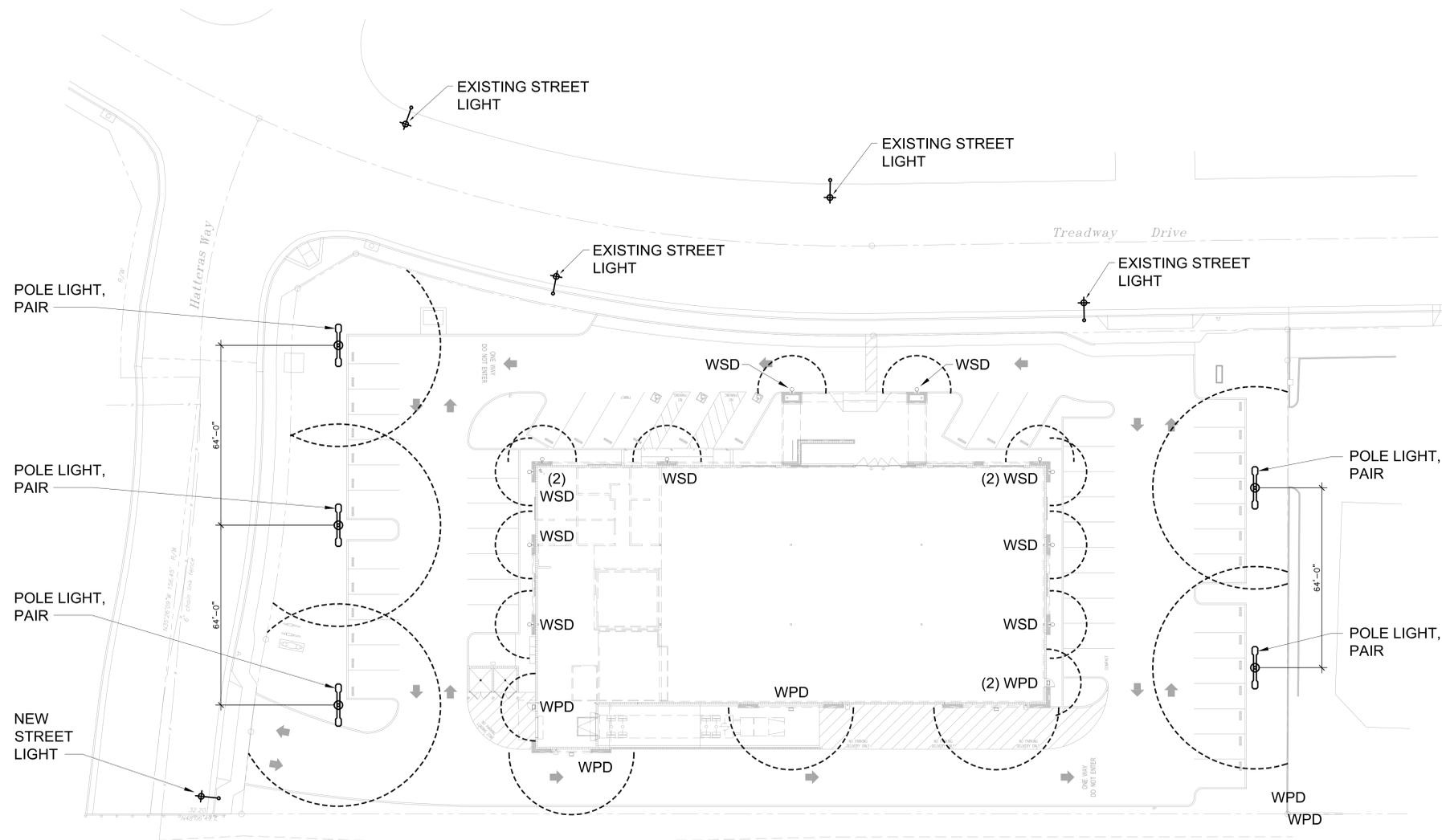
- NOTED ON PLAN AS "WPD"
- MOUNTING HEIGHT = + 16'-6" AT SOUTH SIDE OF BUILDING; + 9'-4" AT EAST SIDE EMERGENCY EXIT & BACK OF HOUSE EXIT
- LUMEN OUTPUT = 1277
- LAMP = (2) 17W LED
- BEAM = DOWN
- COLOR CCT = 4000K
- AIMING POINT = NOTED ON PLAN AS ----- ARC



LITHONIA KC2400M 16C R3 4C SCWA FULL CUTOFF POLE LIGHT, PAIR

LITHONIA KC2400M 16C R3 4C SCWA FULL CUTOFF POLE LIGHT COMBO (OR EQUAL):

- NOTED ON PLAN AS "POLE LIGHT, PAIR"
- MOUNTING HEIGHT = + 20'-0" MAXIMUM
- LUMEN OUTPUT = 38000
- LAMP = 400W METAL HALIDE, PULSE START
- BEAM = ASYMMETRIC, FULL CUTOFF
- APPROXIMATE AIMING POINT = NOTED ON PLAN AS ----- ARC



POLE LIGHTS ON CONCRETE BASE

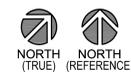
FILE: GO-CLVRDL_POLE-LIGHT_1

SCALE: 3/8" = 1'-0"

NOTE: SEE CUT SHEET

SITE LIGHTING PLAN

FILE: GO-CLVRDL_PLANNING_SHT-9_SITE-LIGHTING_2016-04-01



SCALE: 1" = 20'-0"



BEST DEVELOPMENT GROUP
2580 SIERRA BLVD., SUITE # E
SACRAMENTO, CA 95825

PROPOSED TENANT:
GROCERY OUTLET INC.
5650 HOLLIS STREET
EMERYVILLE, CA 94608

SHELL DESIGN FOR:
STORE # _____
CLOVERDALE
111 TREADWAY DRIVE
CLOVERDALE, CA 95425

PLANNING SUBMITTAL

HMR ARCHITECTS
2100 21st Street
Sacramento, CA 95818
916.236.2774
www.hmrarchitects.com

ALL DIMENSIONS AND WRITTEN MATERIAL APPEARING HEREIN OR ANY OTHER MATERIALS OR METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WRITTEN CONSENT OF HMR ARCHITECTS, INC.

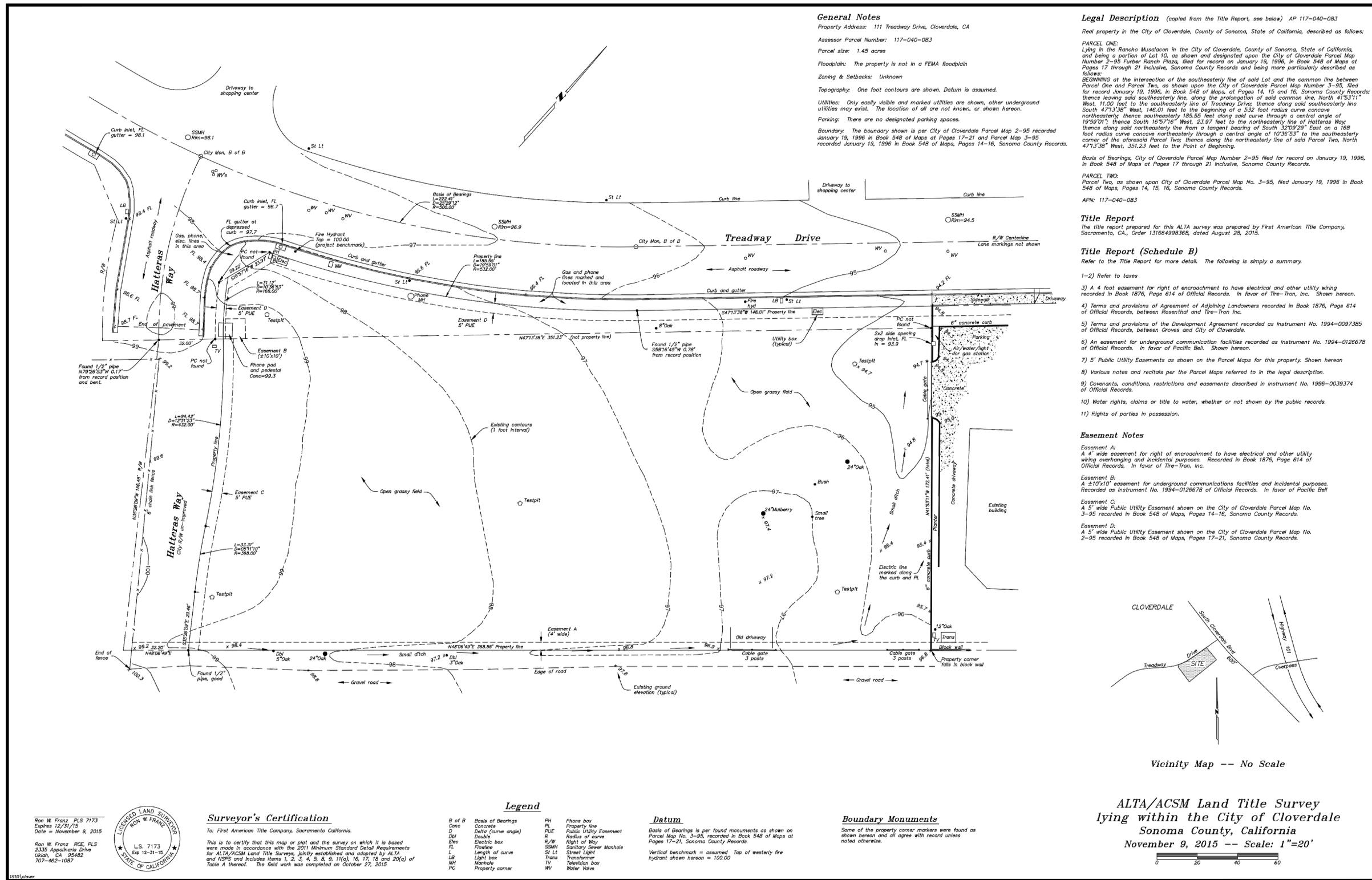
SITE LIGHTING PLAN

DRAWN BY: PAUL S. KASTNER
CHECKED BY: RANDY D. REEVES

HMR JOB # 15192

APR. 1, 2016

SHEET 9



General Notes
Property Address: 111 Treadway Drive, Cloverdale, CA
Assessor Parcel Number: 117-040-083
Parcel size: 1.45 acres
Floodplain: The property is not in a FEMA floodplain
Zoning & Setbacks: Unknown
Topography: One foot contours are shown. Datum is assumed.
Utilities: Only easily visible and marked utilities are shown, other underground utilities may exist. The location of all are not known, or shown hereon.
Parking: There are no designated parking spaces.
Boundary: The boundary shown is per City of Cloverdale Parcel Map 2-95 recorded January 19, 1996 in Book 548 of Maps at Pages 17-21 and Parcel Map 3-95 recorded January 19, 1996 in Book 548 of Maps, Pages 14-16, Sonoma County Records.

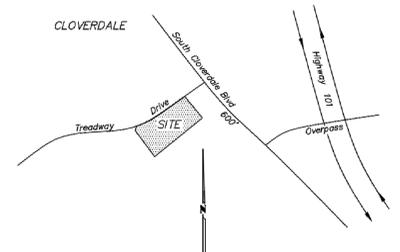
Legal Description (copied from the Title Report, see below) AP 117-040-083
Real property in the City of Cloverdale, County of Sonoma, State of California, described as follows:
PARCEL ONE:
Lying in the Rancho Musalaco in the City of Cloverdale, County of Sonoma, State of California, and being a portion of Lot 10, as shown and designated upon the City of Cloverdale Parcel Map Number 2-95 Furber Ranch Plaza, filed for record on January 19, 1996, in Book 548 of Maps at Pages 17 through 21 inclusive, Sonoma County Records and being more particularly described as follows:
BEGINNING at the intersection of the southeasterly line of said Lot and the common line between Parcel One and Parcel Two, as shown upon the City of Cloverdale Parcel Map Number 3-95, filed for record January 19, 1996, in Book 548 of Maps, at Pages 14, 15 and 16, Sonoma County Records; thence leaving said southeasterly line, along the prolongation of said common line, North 41°53'11" West, 11.00 feet to the southeasterly line of Treadway Drive; thence along said southeasterly line South 47°13'58" West, 146.01 feet to the beginning of a 532 foot radius curve concave northeasterly; thence southeasterly 185.55 feet along said curve through a central angle of 19°50'01"; thence South 16°57'16" West, 23.97 feet to the northeasterly line of Hatteras Way; thence along said northeasterly line from a tangent bearing of South 32°02'29" East on a 168 foot radius curve concave northeasterly through a central angle of 10°36'53" to the southeasterly corner of the aforesaid Parcel Two; thence along the northeasterly line of said Parcel Two, North 47°13'58" West, 351.23 feet to the Point of Beginning.

Basis of Bearings, City of Cloverdale Parcel Map 2-95 filed for record on January 19, 1996, in Book 548 of Maps at Pages 17 through 21 inclusive, Sonoma County Records.
PARCEL TWO:
Parcel Two as shown upon City of Cloverdale Parcel Map No. 3-95, filed January 19, 1996 in Book 548 of Maps, Pages 14, 15, 16, Sonoma County Records.
APN: 117-040-083

Title Report
The title report prepared for this ALTA survey was prepared by First American Title Company, Sacramento, CA, Order 13166498368, dated August 28, 2015.

- Title Report (Schedule B)**
Refer to the Title Report for more detail. The following is simply a summary.
- 1-2) Refer to taxes
 - 3) A 4 foot easement for right of encroachment to have electrical and other utility wiring recorded in Book 1876, Page 614 of Official Records. In favor of Tire-Tron, Inc. Shown hereon.
 - 4) Terms and provisions of Agreement of Adjoining Landowners recorded in Book 1876, Page 614 of Official Records, between Rosenthal and Tire-Tron Inc.
 - 5) Terms and provisions of the Development Agreement recorded as Instrument No. 1994-0097385 of Official Records, between Groves and City of Cloverdale.
 - 6) An easement for underground communication facilities recorded as Instrument No. 1994-0126678 of Official Records. In favor of Pacific Bell. Shown hereon.
 - 7) 5' Public Utility Easements as shown on the Parcel Maps for this property. Shown hereon
 - 8) Various notes and recitals per the Parcel Maps referred to in the legal description.
 - 9) Covenants, conditions, restrictions and easements described in Instrument No. 1996-0039374 of Official Records.
 - 10) Water rights, claims or title to water, whether or not shown by the public records.
 - 11) Rights of parties in possession.

- Easement Notes**
- Easement A:**
A 4' wide easement for right of encroachment to have electrical and other utility wiring overhanging and incidental purposes. Recorded in Book 1876, Page 614 of Official Records. In favor of Tire-Tron, Inc.
- Easement B:**
A 5'x10' easement for underground communications facilities and incidental purposes. Recorded as instrument No. 1994-0126678 of Official Records. In favor of Pacific Bell
- Easement C:**
A 5' wide Public Utility Easement shown on the City of Cloverdale Parcel Map No. 3-95 recorded in Book 548 of Maps, Pages 14-16, Sonoma County Records.
- Easement D:**
A 5' wide Public Utility Easement shown on the City of Cloverdale Parcel Map No. 2-95 recorded in Book 548 of Maps, Pages 17-21, Sonoma County Records.



Vicinity Map -- No Scale

ALTA/ACSM Land Title Survey
lying within the City of Cloverdale
Sonoma County, California
November 9, 2015 -- Scale: 1"=20'



Ron W. Franz PLS 7173
Expires 12/31/15
Date = November 9, 2015



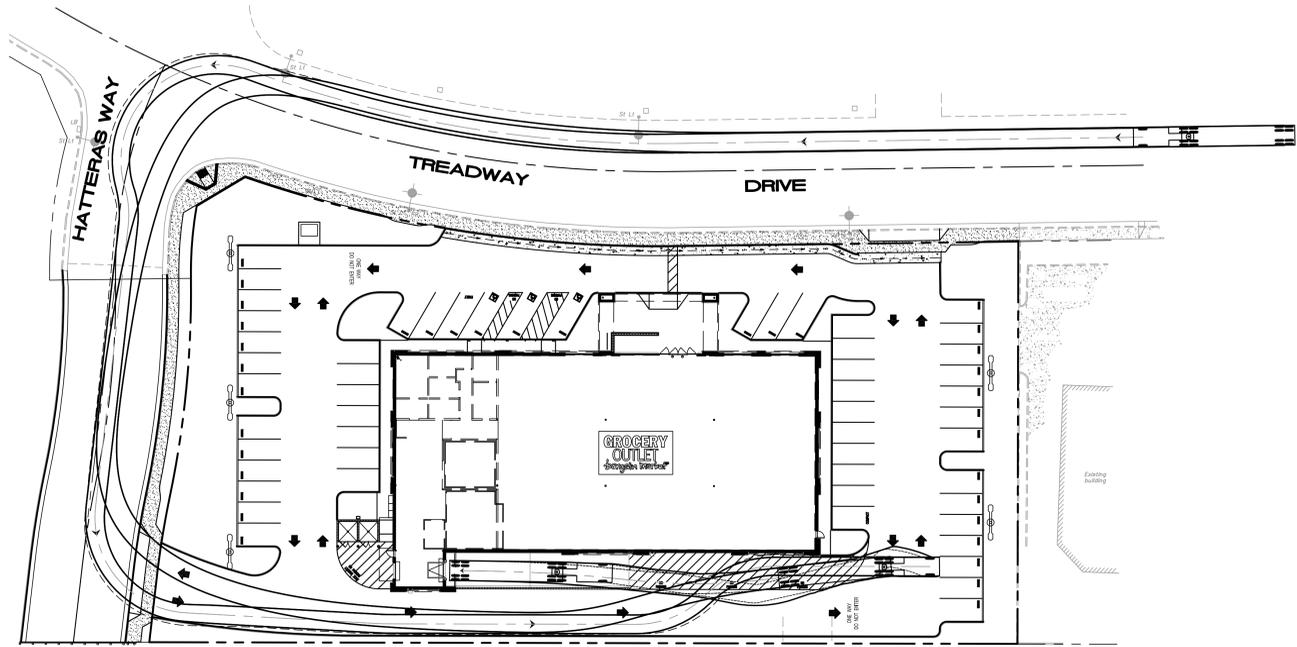
Surveyor's Certification
To: First American Title Company, Sacramento California.
This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes items 1, 2, 3, 4, 5, 8, 9, 11(c), 16, 17, 18 and 20(a) of Table A thereof. The field work was completed on October 27, 2015

Legend

B of B	Basis of Bearings	PH	Phone box
Conc	Concrete	PL	Property line
D	Delta (curve angle)	PUE	Public Utility Easement
Dis	Disable	R	Radius of curve
Elec	Electric box	R/W	Right of Way
FL	Flowline	SSM	Sanitary Sewer Manhole
L	Length of curve	SL	Street Light
LB	Light box	Trans	Transformer
MH	Manhole	TV	Television box
PC	Property corner	WV	Water Valve

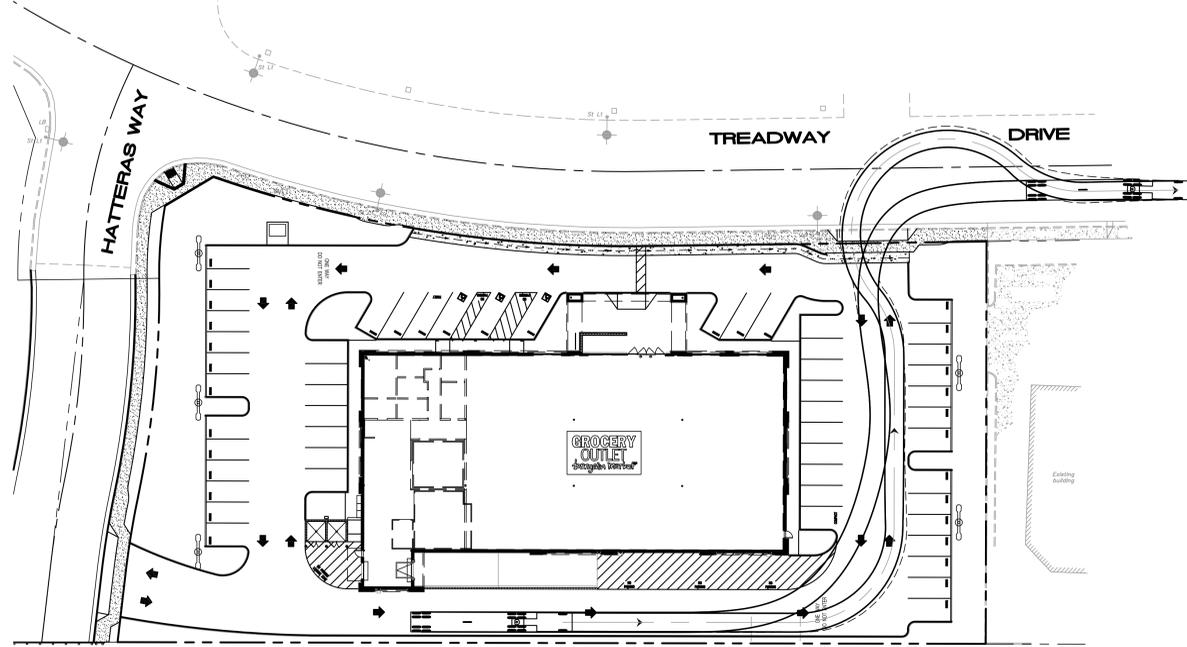
Datum
Basis of Bearings is per found monuments as shown on Parcel Map No. 3-95, recorded in Book 548 of Maps at Pages 17-21, Sonoma County Records.
Vertical benchmark = assumed Top of westerly fire hydrant shown hereon = 100.00

Boundary Monuments
Some of the property corner markers were found as shown hereon and all agree with record unless noted otherwise.



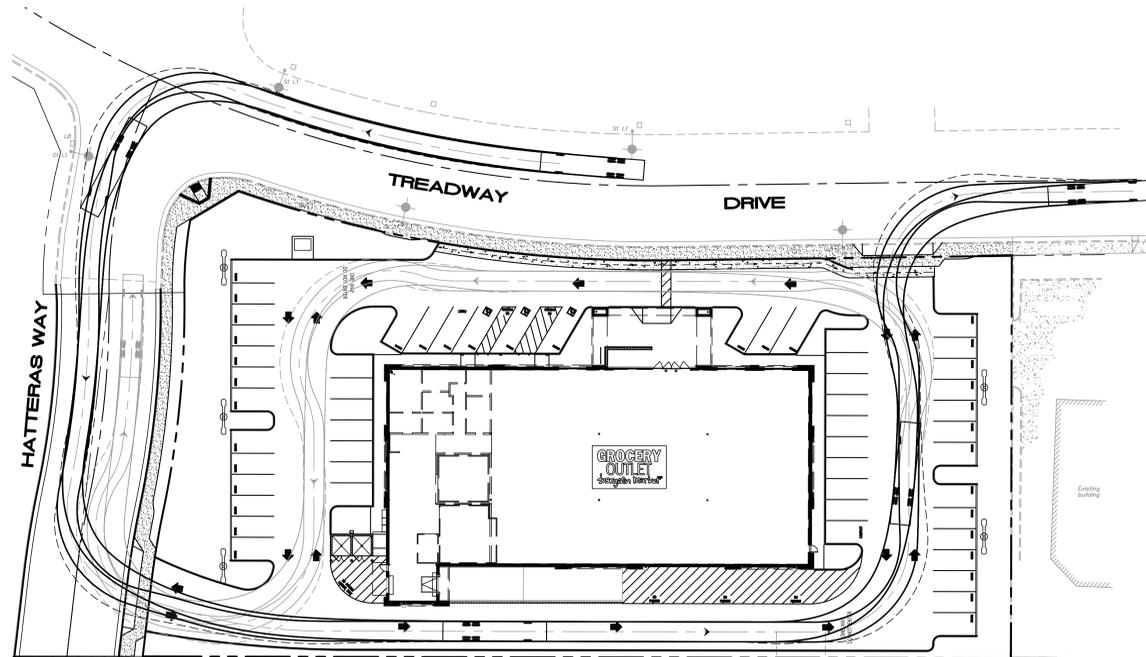
AUTOTURN-DELIVERY TRUCK (IN)

SCALE: 1"=30'



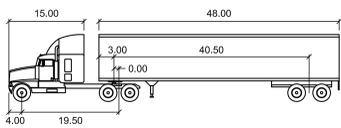
AUTOTURN-DELIVERY TRUCK (OUT)

SCALE: 1"=30'



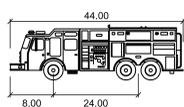
AUTOTURN-FIRE TRUCK

SCALE: 1"=30'



WB-62		feet	
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Tractor Track	: 8.50	Steering Angle	: 28.4
Tractor Width	: 8.00	Articulating Angle	: 70.0
Tractor Track	: 8.50	Min. Turn Radius	: 41.0

DESIGN VEHICLE -- DELIVERY TRUCK



Pumper Fire Truck		feet	
Width	: 8.50	Lock to Lock Time	: 6.0
Track	: 8.50	Steering Angle	: 37.8
Lock to Lock Time	: 6.0	Min. Turn Radius	: 39.19

DESIGN VEHICLE -- FIRE TRUCK

LEGEND

- CENTERLINE OF VEHICLE
- VEHICLE TIRES
- VEHICLE BODY

TRUCK TURN EXHIBIT



SCALE: 1"=20'-0"



CIVIL DESIGN CONSULTANTS, INC.
 2000 Bridge Avenue, Suite 204
 Santa Rosa, CA 95403
 (707) 542-4820



SHELL DESIGN FOR:
STORE # _____
CLOVERDALE
111 TREADWAY DRIVE
CLOVERDALE, CA 95425

PROPOSED TENANT:
GROCERY OUTLET INC.
5650 HOLLIS STREET
EMERYVILLE, CA 94608

BEST DEVELOPMENT GROUP
2580 SIERRA BLVD., SUITE # E
SACRAMENTO, CA 95825

PLANNING SUBMITTAL

HMRARCHITECTS
 2130 21st Street
 Sacramento, CA 95818
 F 916 738 0670
 www.hmrarchitects.com

TRUCK TURN EXHIBIT

CDC JOB # 15-126

APRIL 1, 2016

SHEET 11

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sign total: 105.5 sq.ft.

27'-2" (pnt'd red bkgd)

25'-8"

bkgd-face: aluminum construction paint to match dark red #3630-73



Signs A & B: Led Illuminated P/C Signs (on 2" deep alum. bkgd's)

Scale 1/4"=1'-0"

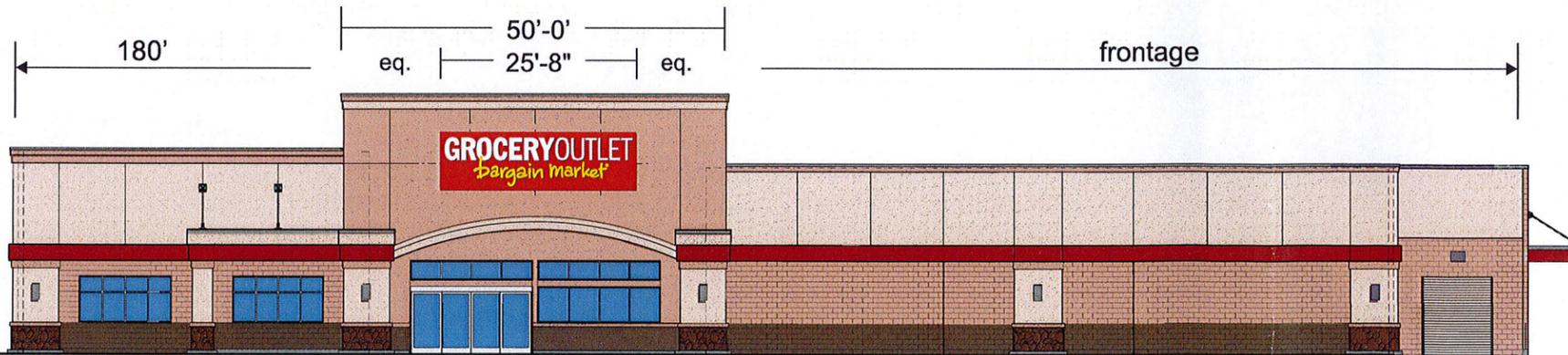
all copy: white acrylic letter faces w/ golden yellow #3630-125 vinyl overlay (bargain market) copy above to have: 5" deep black returns with black 1" trimcap. ul approved white Led illumination

"R" mark (non-illuminated) vinyl on white acrylic

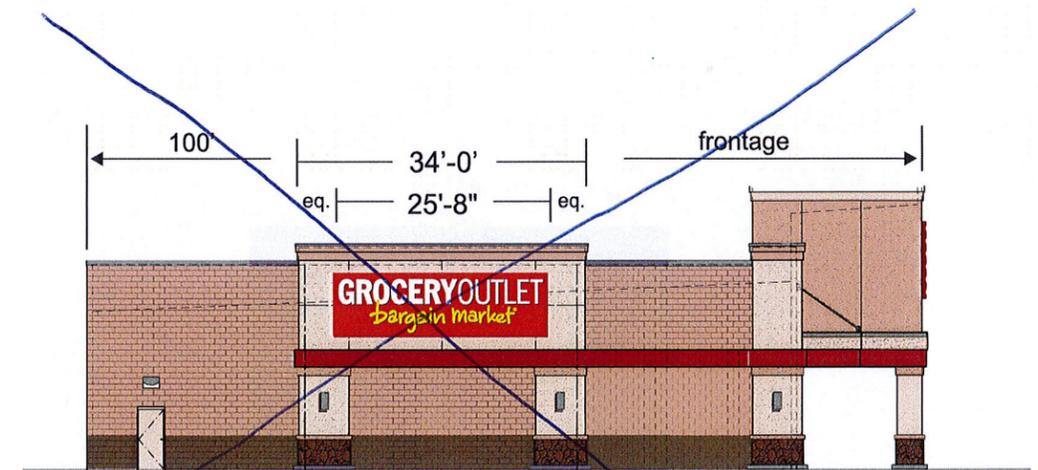
sign bkgd: 2" deep aluminum fabricated bkgd painted dark red #3630-73

City of Cloverdale
Community Development Department
Received

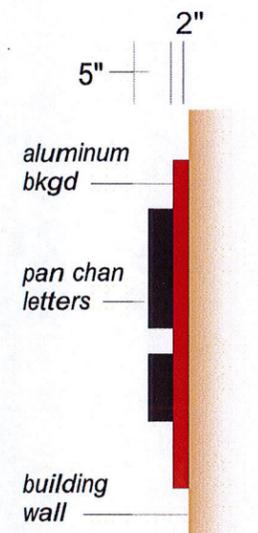
2-24-16



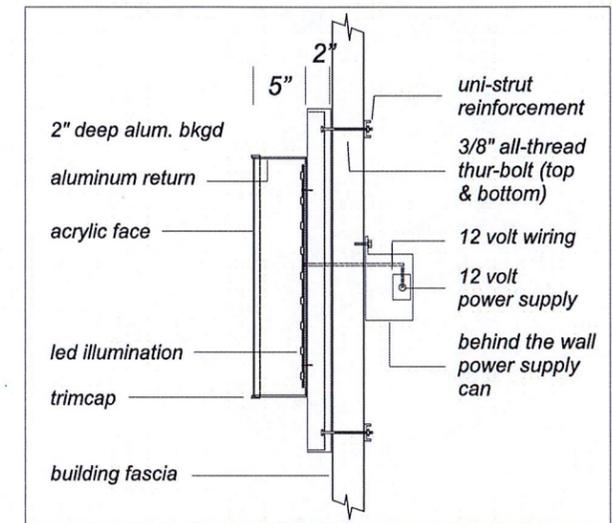
Building Elevation (front)



Building Elevation (side)



End View



Led P/C Letter Detail on Metal Bkgd

USS UNITED
SIGN SYSTEMS

5201 Pentecost Drive
Modesto, Calif. 95356
1-800-481-SIGN
FAX (209) 543-1326

JOB #: 000
CLIENT: GROCERY OUTLET
CONTACT:
DATE: 11-23-15
PROJECT LOCATION:
111 TREADWAY DR
CLOVERDALE, CA

SALESPERSON: SEAN CAMPBELL
DRAWN BY: BAM
PAGE 1 OF 4
CLIENT APPROVAL _____ DATE _____
LANDLORD APPROVAL _____ DATE _____

REVISIONS:
00-00-00

SCALE:
NOTED

FILE NAME:
GROCERY OUTLET
cloverdale

FILE

ELECT.

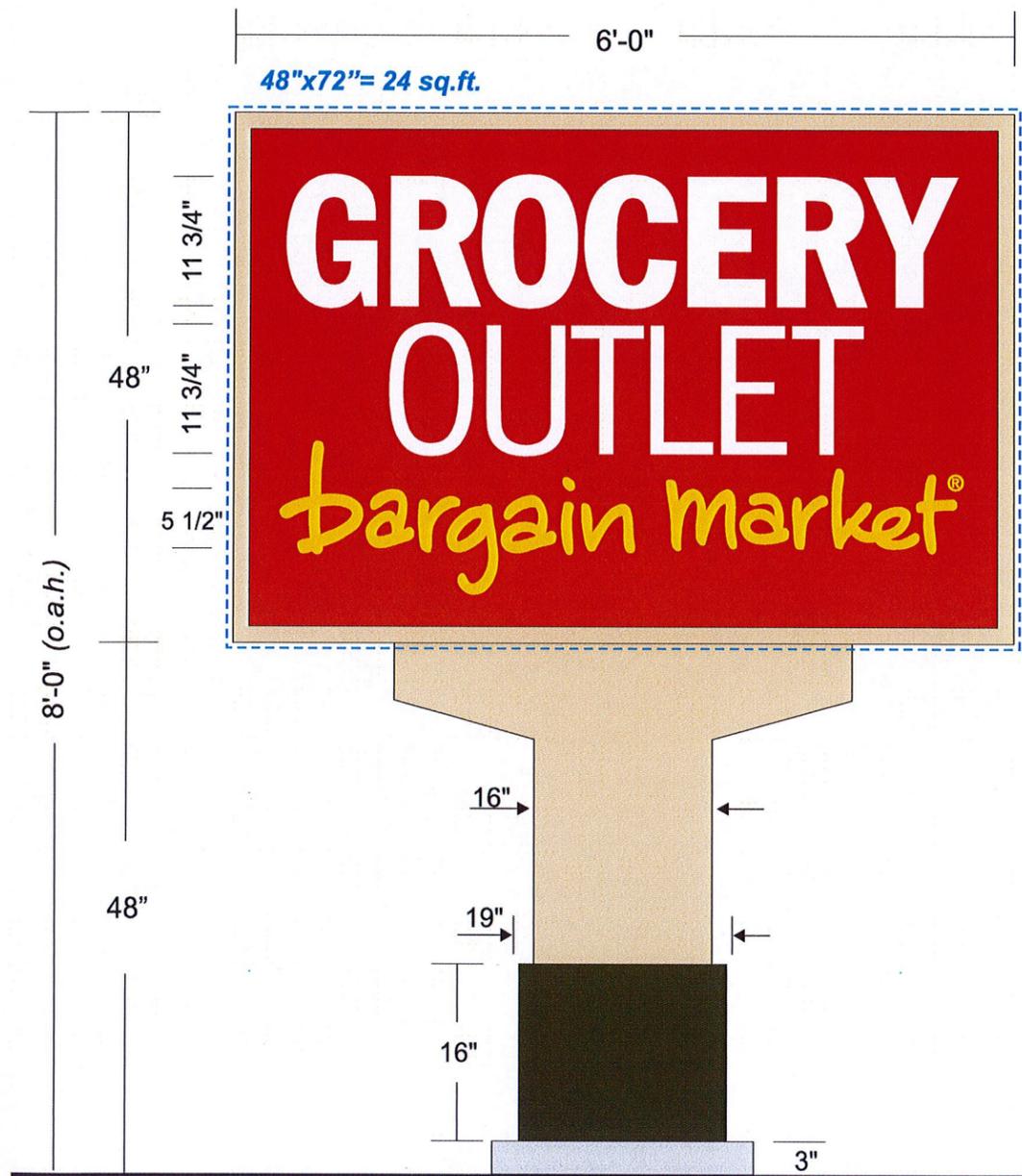
120 Volt
277 Volt
Other
one box above
MUST be checked
prior to any mfg.

SPECIFICATIONS

See Drawing for Specifications

DESIGN MANUFACTURING INSTALLATION MAINTENANCE

This Design Layout is specific to 120 volt electrical power for approved illuminated signage. Any other voltage at job site that requires additional installation is an extra charge. Copyright 2000 USS United Sign Systems This artwork/design is sole property of USS United Sign Systems and cannot be reproduced without written permission of Johnson Sign Systems



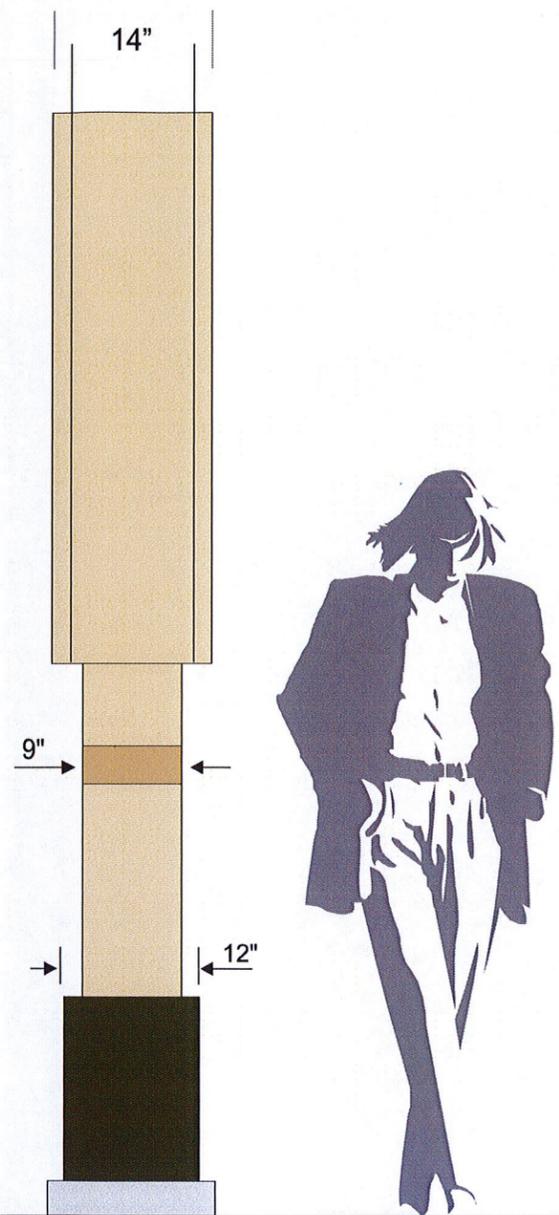
cabinet:
aluminum construction
paint BM Putnam Ivory HC-39

sign faces:
clear lexan with 2nd surface decoration;
"opaque" dark red #73 vinyl bkgd,
golden yellow #125 & white vinyl copy
(add 1st surface "graffiti" vinyl film)

pole cladding:
aluminum construction
paint Benjamin-Moore
Putnam Ivory HC-39

base section painted;
Benjamin-Moore
Guacamole #2144-10

3" high concrete mow strip



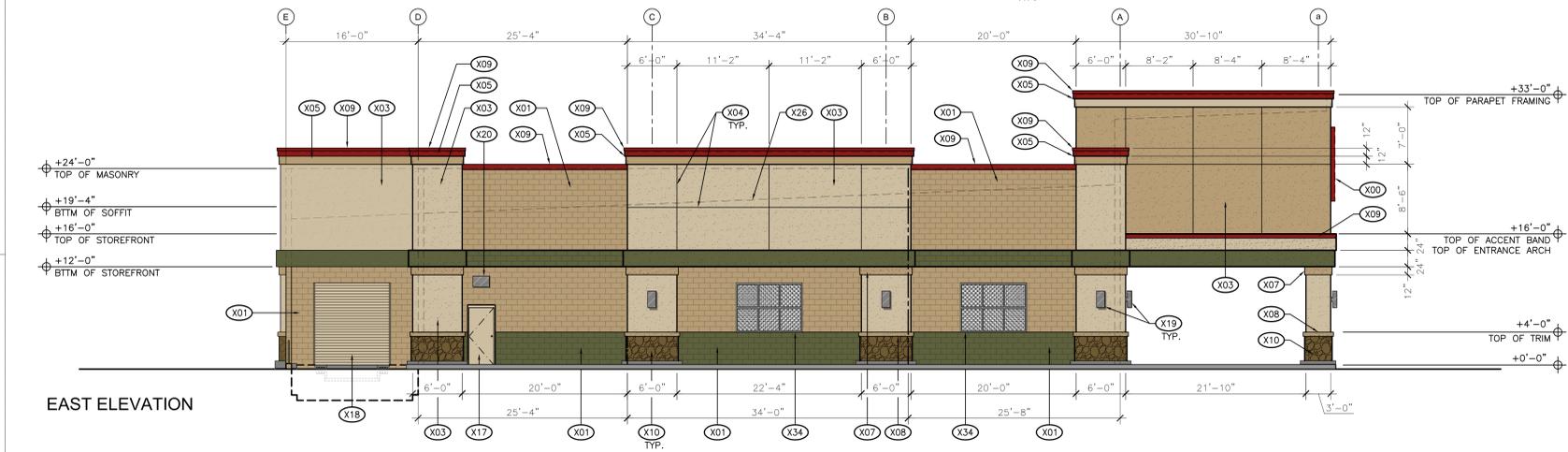
End View

Sign D:
D/F Illuminated Pylon Sign
Scale 3/4"=1'-0"

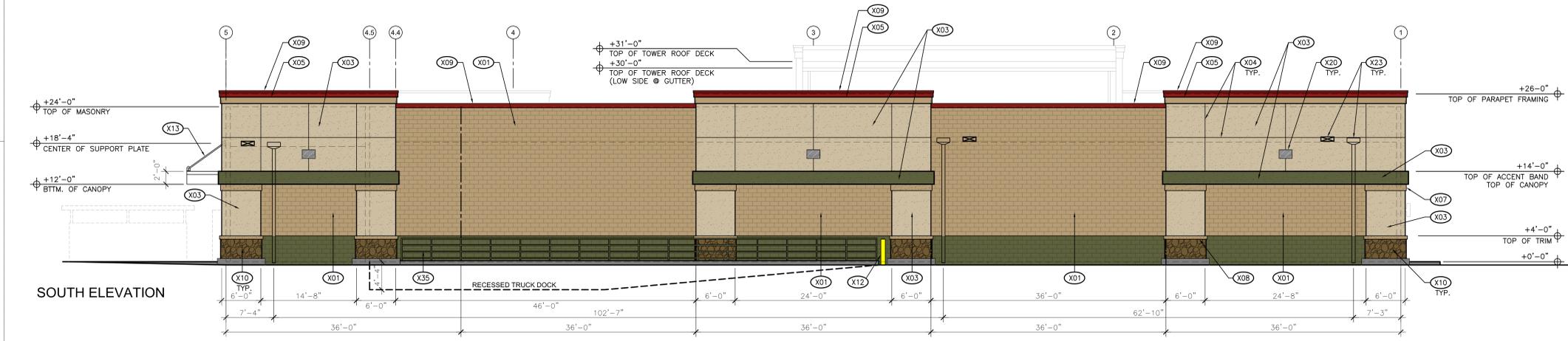
<p>5201 Pentecost Drive Modesto, Calif. 95356 1-800-481-SIGN FAX (209) 543-1326 C.S.C.L. # 718965</p>	<p>JOB INFO</p> <p>JOB #: 000 CLIENT: GROCERY OUTLET CONTACT: DATE: 11-23-15 PROJECT LOCATION: 111 TREADWAY DR CLOVERDALE, CA</p>	<p>FILE</p> <p>REVISIONS: 11-24-15 bam 11-23-15 bam</p> <p>SCALE: NOTED</p> <p>FILE NAME: GROCERY OUTLET cloverdale</p>	<p>ELECT.</p> <p>120 Volt <input type="checkbox"/> 277 Volt <input type="checkbox"/> Other <input type="checkbox"/></p> <p>one box above MUST be checked prior to any mfg.</p>	<p>SPECIFICATIONS</p> <p>See Drawing for Specifications</p>



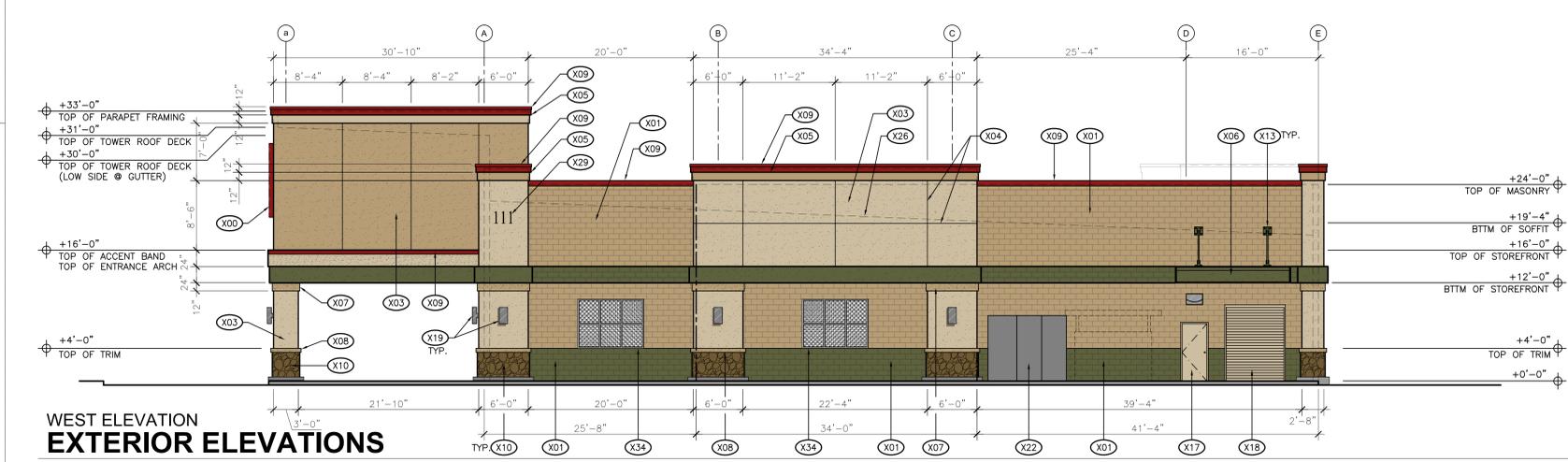
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION
EXTERIOR ELEVATIONS



TRASH ENCLOSURE ELEVATION



EXTERIOR ELEVATIONS - COLOR SCHEDULE

- ALL PAINT COLORS BY BENJAMIN MOORE PAINTS (U.N.O.)
- 1 PAINT #1 = GUACAMOLE #2144-10
 - 2 PAINT #2 = DECATUR BUFF #HC-38
 - 3 PAINT #3 = PUTNAM IVORY #HC-39
 - 4 PAINT #4 = HERITAGE RED #PM-18 (MATCH SIGN MANUF.)

SIGN SCHEDULE

Proposed Signage	Description	Location	Height	Width	Total Sign Area (sq. ft.)	Sign Copy
Main Entry Sign	LED Illuminated P/C Sign	Entry Canopy (Front Elevation)	8'-0"	27'-2"	Background = 217.3 sf Lettering = 105.5 sf	"GROCERY OUTLET bargain market"
Department Sign	LED Illuminated Pan Channel Letters	Front Elevation	2'-6"	12'-10"	32 sf	"Produce"
Department Sign	LED Illuminated Pan Channel Letters	Front Elevation	2'-6"	8'-0"	20 sf	"Dairy"
Department Sign	LED Illuminated Pan Channel Letters	Front Elevation	2'-6"	7'-8"	19.1 sf	"Meat"
Department Sign	LED Illuminated Pan Channel Letters	Front Elevation	2'-6"	13'-10"	34.5 sf	"Organics"
Department Sign	LED Illuminated Pan Channel Letters	Front Elevation	2'-6"	8'-0"	20 sf	"Wine"
Monument Sign	D/F Illuminated Pylon Sign	Driveway Area (see Site Plan)	4'-0"	6'-0"	24 sf	"GROCERY OUTLET bargain market"
TOTAL ALL SIGNS					366.9 SF	

EXTERIOR ELEVATIONS - KEYNOTES

- X00 PROPOSED SIGNAGE- UNDER SEPARATE PERMIT
- X01 EXPOSED PRECISION CMU - SEAL AND PAINT PER SCHEDULE
- X02 EXPANSION JOINT - SEAL AND PAINT PER SCHEDULE
- X03 7/8" REINFORCED CEMENT PLASTER - PAINT PER SCHEDULE
- X04 G.I. CONTROL JOINT / REVEAL - PAINT PER SCHEDULE
- X05 CEMENT PLASTER CORNICE TRIM - PAINT PER SCHEDULE
- X06 CEMENT PLASTER FASCIA / SOFFIT TRIM - PAINT PER SCHEDULE
- X07 CEMENT PLASTER PILASTER CAPITOL TRIM - PAINT PER SCHEDULE
- X08 CEMENT PLASTER PILASTER SILL TRIM - PAINT PER SCHEDULE
- X09 G.I. PARAPET CAP / FLASHING - PAINT PER SCHEDULE
- X10 STONE VENEER OVER CEMENT PLASTER BROWN COAT
- X11 RAISED CONCRETE PROTECTION CURB
- X12 PIPE BOLLARD - PAINT SAFETY YELLOW
- X13 EXPOSED STEEL ROOF/CANOPY BRACES - PAINT PER SCHEDULE
- X14 STOREFRONT AUTOMATED SLIDING DOOR PACKAGE, WITH CLEAR ANODIZED ALUMINUM FRAME AND DUAL PANE NON-TINTED GLAZING
- X15 STRUCTURAL CEMENT PLASTER HEADER/JAMB FRAME
- X16 STOREFRONT WINDOWS WITH CLEAR ANODIZED ALUMINUM FRAME AND DUAL PANE NON-TINTED GLAZING
- X17 HOLLOW METAL DOOR AND FRAME - PAINT PER SCHEDULE
- X18 ROLL-UP DOOR - PAINT PER SCHEDULE
- X19 DOWNLIGHT WALL SCONCE LIGHTING FIXTURE - FACTORY PAINT PER SCHEDULE
- X20 WALL PACK LIGHTING FIXTURE - FINISH PER SCHEDULE
- X21 GAS METER (NOT SHOWN)
- X22 ELECTRICAL SERVICE CABINETS
- X23 RAINLEADER / SCUPPER (SEE ROOF PLAN)
- X24 PRE-CAST CONCRETE SPLASH BLOCK
- X25 TPO ROOFING AT CANOPY (SEE ROOF PLAN)
- X26 DASHED LINE INDICATES ROOFLINE (BEHIND)
- X27 ROOF MOUNTED HVAC UNIT (SCREENED BEHIND PARAPET) - NOT SHOWN - PROVIDED DURING TI CONSTRUCTION
- X28 ROOF MOUNTED REFR. EQUIP. (SCREENED BEHIND PARAPET) - NOT SHOWN - PROVIDED DURING TI CONSTRUCTION
- X29 ADDRESS NUMBERS TO BE PLACED IN SUCH A MANNER AS TO BE PLAINLY VISIBLE FROM THE STREET.
- X30 12" MIN. HIGH LETTERS WITH 3/8" MIN. STROKE, ON CONTRASTING BACKGROUND AND ILLUMINATED AS REQUIRED BY LOCAL FIRE JURISDICTION
- X31 KNOX BOX PER LOCAL FIRE JURISDICTION REQUIREMENTS
- X32 BUILDING ACCESSIBLE ENTRANCE SIGN
- X33 CMU CART CORRAL W/ CAP - PAINT (SEE PLAN)
- X34 SHAPED STEEL PANEL & ANGLE FRAME GATES - PAINTED
- X35 TUBE STEEL FEATURE LATTICE WITH STEEL MESH - PAINT GRAY TO MATCH STOREFRONT
- X36 2"Ø STEEL PIPE RAILING - PAINTED

BEST DEVELOPMENT GROUP
2580 SIERRA BLVD., SUITE # E
SACRAMENTO, CA 95825

PROPOSED TENANT:
GROCERY OUTLET INC.
5650 HOLLIS STREET
EMERYVILLE, CA 94608

SHELL DESIGN FOR:
STORE # ---
CLOVERDALE
111 TREADWAY DRIVE
CLOVERDALE, CA 95425

PLANNING
SUBMITTAL

HMR ARCHITECTS
7100 Plus Street
Sacramento, CA 95838
P: 916.239.2774
F: 916.239.2774
www.hmrarchitects.com

EXTERIOR
ELEVATIONS

HMR JOB #15192
APR. 1, 2016
SHEET 5





ATTACHMENT 7
Site Photos



View of property from Hatteras Way looking East



View of existing Hatteras Way from Treadway Drive



View of property looking South



View of property looking West



View to the North across Treadway Drive



View to the North across the street from intersection of Hatteras Way and Treadway Drive

FEATURES & SPECIFICATIONS

INTENDED USE

Ideal for parking areas, street lighting, walkways and car lots.

CONSTRUCTION

Rugged, die-cast, soft corner aluminum housing with 0.12" nominal wall thickness. Die-cast door frame has impact-resistant, tempered, flat glass lens that is fully gasketed with one-piece tubular silicone.

Finish: Finish is dark bronze (DDB) polyester powder.

OPTICS

Anodized, aluminum reflectors: IES full cutoff distributions: R3 (asymmetric) or R4 (forward throw). Optional houseside shield (HS) available.

ELECTRICAL

Ballast: Super CWA pulse start ballasts, 88% efficient and EISA legislation compliant, are required for 250-400W (must order SCWA option) for shipments in the US.

Socket: Porcelain, horizontally oriented mogul base socket with copper alloy, nickel-plated screw shell and center contact. UL listed 1500W, 600V.

Lamp included.

LISTINGS

UL Listed (standard). UL listed for 25°C ambient and wet locations. IP65 rated.

WARRANTY

1-year limited warranty. Complete warranty terms located at

www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Specifications subject to change without notice.

Catalog Number
Notes
Type

CONTOUR
SERIES

Night-time Friendly / Full Cutoff Lighting



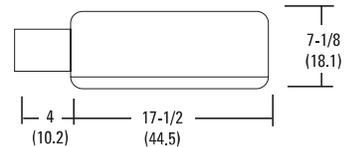
KAD/POLE COMBO

METAL HALIDE

250W, 400W
16' to 25' Mounting

Specifications

EPA:	1.2 ft. ²
Weight:	41 lbs (18.6 kg)
Length:	17-1/2 (44.5)
Width:	17-1/2 (44.5)
Depth:	7-1/8 (18.1)



All dimensions are inches (centimeters) unless otherwise indicated.

FEATURES & SPECIFICATIONS

CONSTRUCTION

Weldable-grade, hot-rolled, commercial-quality carbon steel tubing with a minimum yield of 55,000 psi (11-gauge). Uniform wall thickness of .125". Shafts are one-piece with a longitudinal electric resistance weld. Uniformly square in cross-section with flat sides, small corner radii and excellent torsion. Available shaft width is 4".

Anchor base is fabricated from hot-rolled carbon steel plate that meets or exceeds a minimum yield strength of 36,000 psi. The anchor base is provided with slotted holes.

A handhole having nominal dimensions of 3" x 5" for all shafts. Included is a cover with attachment screw.

Weatherproof, high-strength plastic top cap provided.

Automotive-grade ABS plastic full base cover is finished to match pole.

Finish: Dark bronze (DDB) polyester powder.

Grounding: A nut holder located immediately inside the handhole rim is provided (ground bolt and nut by others).

Anchor bolts: Top portion of anchor bolt is galvanized per ASTM A-153. Made of steel rod (3/4" x 18" x 3") having a minimum yield strength of 55,000 psi. Includes 4 anchor bolts, 8 hex nuts with washers, and template.

Note: Specifications subject to change without notice.

IMPORTANT:

These specifications are intended for general purposes only. Lithonia reserves the right to change material or design, without prior notice, in a continuing effort to upgrade its products.

Installation requires grout to be packed under base to ensure full contact with foundation.

Anchor Base Poles

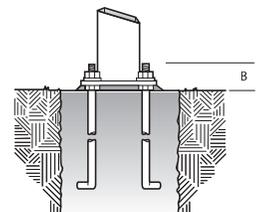
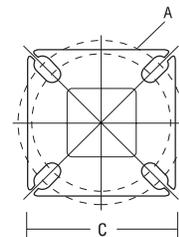
SSS

SQUARE STRAIGHT STEEL

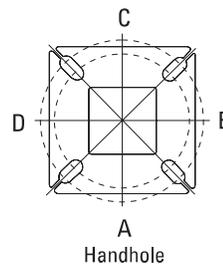
16' to 25' Mounting

Specifications

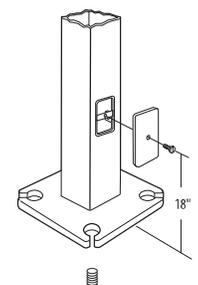
Pole	Weight
SSS 16 4C	115 lbs (51.8 kg)
SSS 20 4C	140 lbs (63.0 kg)
SSS 25 4C	170 lbs (76.5 kg)



HANDHOLE ORIENTATION



BASE DETAIL



POLE DATA					
Shaft base size	Bolt circle A	Bolt projection B	Base square C	Anchor bolts (w/ template in carton)	Template number
4"C	8-1/2"	2-3/4"-4"	8"	ABS55-4C	PJ50004

KAD Pole Combo

ORDERING INFORMATION

All configurations of this product are considered "standard" and have short lead times.

Example: KC2400M25C R3 4C SCWA

Series	Lamp	Pole length	Distribution	4C	Arm length	Options
KC1 1 fixture	Metal halide	16C 16-foot "C" pole	R3 Type III asymmetric	Pole diameter	(blank) 4 inches	HS Houseside shield ²
KC2 2 fixtures	250M ¹ 400M ¹	20C 20-foot "C" pole 25C 25-foot "C" pole	R4 Type IV forward throw	4C		  SCWA Super CWA pulse start ballast Note: For shipments to US territories, SCWA must be specified to comply with EISA.

KC2400M25C R3 4C SCWA

Consists of:

Qty	Code description
1	SSS 25 4C DM28 PL DDB SHAFT
2	KAD 400M R3 TB SCWA SPD04 LPI
1	SBC4 DDB U
1	ABSSS-4C
1	STC-4 U

Maximum m.p.h wind load with 1.3 gusts

Pole	KC1 single	KC2 single
16' 4C 4" arm	100	100
20' 4C 4" arm	100	100
25' 4C 4" arm	90	90

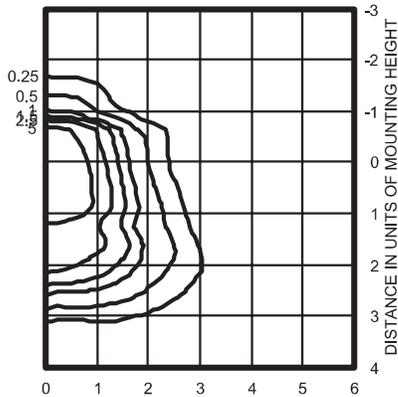
Notes

- 1 These wattages do not comply with California Title 20 regulations.
- 2 Ships separately.

PHOTOMETRICS

KC 400M R4 TEST NO: 1191110101P

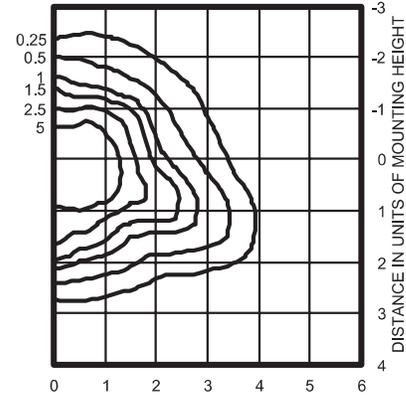
ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type III, Very Short), Full Cutoff

KC 400M R3 TEST NO: 1192040902P

ISOILLUMINANCE PLOT (Footcandle)



400W pulse start metal halide lamp, rated 38000 lumens. Footcandle values based on 20' mounting height.
Classification: Unclassified (Type I, Very Short), Full Cutoff

Mounting Height Correction Factor

(Multiply the fc level by the correction factor)
16ft. = 1.56 25ft. = 0.64

$$\left(\frac{\text{Existing Mounting Height}}{\text{New Mounting Height}} \right)^2 = \text{Correction Factor}$$



Consistent with LEED® goals & Green Globes™ criteria for light pollution reduction

Note

Actual performance may differ as a result of end-user environment and application.



GENERAL SPECIFICATION

Body and trim: Low copper die-cast aluminum, highly resistant to oxidation.

Diffuser: 3mm/0.12" tempered glass/convex lens.

Gasket: Silicone.

Finish: Powder coated.

External screws: A4 stainless steel treated with highly antioxidant water-repellent lubricating solution to ensure easy opening.

Cable entry: M16 double gland for DIA 5-10mm/0.2-0.4" cables.

Ballasts: HPF, electronic 120/277V.

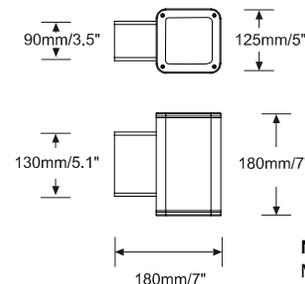
Drivers: HPF, electronic 120/277V, 0-10V dimming. 120V LED only.

Mechanical: Mounts directly over a Jbox (mini Torre mounts over a 2"x3" Jbox).

Approvals: ETL. Wet location, IP65.

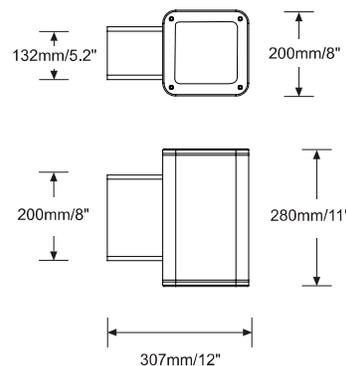
A SPECIFY LAMP/LUMINAIRE TYPE

Code:	Lamp:	Beam:	Color CCT:	Initial lumens:	Photometry:
830 8200	15W LED	14° down	3000K	2000	
830 8201	15W LED	14° down	4000K	2090	
830 8202	15W LED	24° down	3000K	2000	
830 8203	15W LED	24° down	4000K	2090	
830 8204	15W LED	36° down	3000K	2000	
830 8205	15W LED	36° down	4000K	2090	
830 8280	2 x 15W LED	14° up/down	3000K	2 x 1050	
830 8281	2 x 15W LED	14° up/down	4000K	2 x 1100	
830 8282	2 x 15W LED	24° up/down	3000K	2 x 1050	
830 8283	2 x 15W LED	24° up/down	4000K	2 x 1100	
830 8284	2 x 15W LED	36° up/down	3000K	2 x 1050	
830 8285	2 x 15W LED	36° up/down	4000K	2 x 1100	



Note:
Mini Torre mounts directly over a 2" x 3" J Box (by others).

830 8250	26W LED	15° down	3000K	2760
830 8251	26W LED	15° down	4000K	2880
830 8252	26W LED	50° down	3000K	2760
830 8253	26W LED	50° down	4000K	2880
830 8260	39W LED	15° down	3000K	3170
830 8261	39W LED	15° down	4000K	3240
830 8262	39W LED	50° down	3000K	3170
830 8263	39W LED	50° down	4000K	3240
830 8270	2 x 26W LED	15° up/down	3000K	2 X 2760
830 8271	2 x 26W LED	15° up/down	4000K	2 X 2880
830 8272	2 x 26W LED	50° up/down	3000K	2 X 2760
830 8273	2 x 26W LED	50° up/down	4000K	2 X 2880



830 8210	70W HID (G12)	7° down		6200	File# 8308210
830 8211	70W HID (G12)	30° down		6200	File# 8308211
830 8212	70W HID (G12)	7° up / 30° down		6200	File# 8308212
830 8213	70W HID (G12)	7° up/down		6200	File# 8308213
830 8214	70W HID (G12)	30° up/down		6200	File# 8308214
830 8220	150W HID (G12)	7° down		13500	File# 8308220
830 8221	150W HID (G12)	30° down		13500	File# 8308221
830 8222	150W HID (G12)	7° up / 30° down		13500	File# 8308222
830 8223	150W HID (G12)	7° up/down		13500	File# 8308223
830 8224	150W HID (G12)	30° up/down		13500	File# 8308224

B SPECIFY FINISH

- GR Light gray
- AG Anthracite gray

C SPECIFY OPTIONS

- DB Dimming (120V LED only)

Example Specification Code: **830 8250 - AG**



WSTM LED

LED Mini Wall Sconce



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

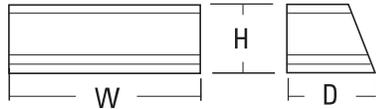
The Architectural WSTM Mini-Wall Sconce is now available with the latest in LED technology. The result is a long-life, maintenance-free product with typical energy savings of 87% over metal halide versions. The diffuse lens eliminates harsh glare while producing comfortable illumination.

The WSTM LED is ideal for replacing existing 50-100W metal halide or 26-42W compact fluorescent wall-mounted products and can be mounted in either lens up or lens down orientation. The expected service life is over 10 years of nighttime use.

Specifications

Luminaire

- Height:** 5-3/4" (14.6 cm)
- Width:** 12-1/2" (31.8 cm)
- Depth:** 7-1/2" (19.1 cm)
- Weight:** 6 lbs. (2.7 kg)



Ordering Information

EXAMPLE: WSTM LED 2A 40K 120 DDBTXD

WSTM LED	Series	LEDs	Color temperature	Voltage	Mounting	Control options	Other options	Finish <i>(required)</i>
WSTM LED	1A	One engine	30K 3000K	120	Shipped included	Shipped installed	Shipped installed	DDBXD Dark bronze
	2A	Two engines	40K 4000K	277 ¹	(blank) Surface mount	PE Photoelectric cell, button type	(blank) Diffusing glass lens	DBLXD Black
					Shipped separately²		CGL Clear glass lens	DNAXD Natural aluminum
					UT5 Uptilt 5 degrees		Shipped separately²	DWHXD White
							WG Wire guard ³	DDBTXD Textured dark bronze
								DBLBXD Textured black
								DNATXD Textured natural aluminum
								DWHGXD Textured white
								DSSTXD Textured sandstone

Stock configurations are offered for shorter lead times:

Stock Part Number
WSTM LED 1A 40K 120 DDBTXD
WSTM LED 2A 40K 120 DDBTXD

Accessories

Ordered and shipped separately.

WSTMUT5 DDBXD U	5 degree uptilt accessory (specify finish)
WSTMWG U	Wire guard accessory

NOTES

- Includes step-down transformer; see page 2 for more information.
- Also available as a separate accessory; see Accessories information at left.
- Not for inverted mounting.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts.

LEDs	Performance Package	System Watts ¹	30K (3000K, 80 CRI)					40K (4000K, 80 CRI)				
			Nominal Lumens	B	U	G	LPW	Nominal Lumens	B	U	G	LPW
1A	1A-K	9	673	0	0	0	75	733	0	0	1	81
2A	2A-K	17	1,308	1	0	0	77	1,277	1	0	0	75

1 See electrical load chart for 277V system watts.

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier	
0°C	32°F	1.05
10°C	50°F	1.03
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **WSTM LED** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.0
25,000	0.86
50,000	0.74
100,000	0.54

Electrical Load

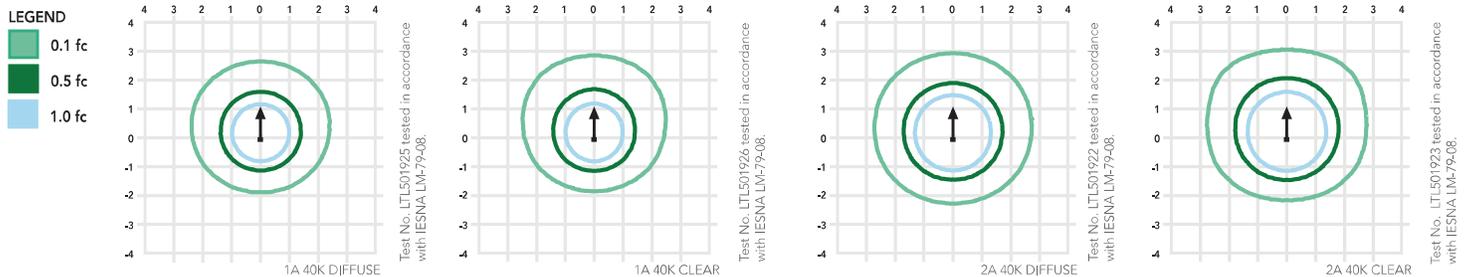
LEDs	System Watts	Current (A)	
		120	277
1A	9W	0.08	—
	13W ¹	—	0.06
2A	17W	0.15	—
	22W ¹	—	0.09

1 Higher wattage is due to electrical losses from step-down transformer.

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [WSTM LED homepage](#).

Isofootcandle plots for the WSTM LED 40K. Distances are in units of mounting height (8').



FEATURES & SPECIFICATIONS

INTENDED USE

The classic architectural shape of the WSTM LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long-life LEDs make this luminaire nearly maintenance-free.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates a heat sink to optimize thermal transfer from the internal light engine and promote long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder-coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Light engines are 3000K (>80 CRI) or 4000K (>80 CRI). The WSTM LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) consist of 42 high-efficacy LEDs mounted to a circuit board and integral aluminum heat sink to maximize heat dissipation and promote long life (50,000 hrs at 25°C, L74).

INSTALLATION

Easily installed using provided mounting strap. Mount to any non-combustible vertical surface, over a 4" round or square recessed outlet box (by others). Back access through slotted gasket.

LISTINGS

CSA certified to U.S. standards. Luminaire is IP65 rated and suitable for wet locations when mounted with the lens down. Rated for -30°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx. Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. **Note:** Specifications subject to change without notice.



Plants Proposed for Landscaping

Grocery Outlet – Cloverdale
January 2016



Yarrow (*Achillea millefolium*)



California Buckeye (*Aesculus californica*)



Frikart's Aster (*Aster x frikartii* 'Mönch')



Dwarf Orange Bulbine (*Bulbine frutescens*)



Santa Barbara Sedge (*Carex barbarae*)



Foothill Sedge (*Carex tumulicola*)



Western Redbud (*Cercis occidentalis*)



California Fuchsia (*Epilobium canum*)



Flat-top Buckwheat (*Eriogonum fasciculatum*)



Giant Wild-rye (*Elymus condensatus*)



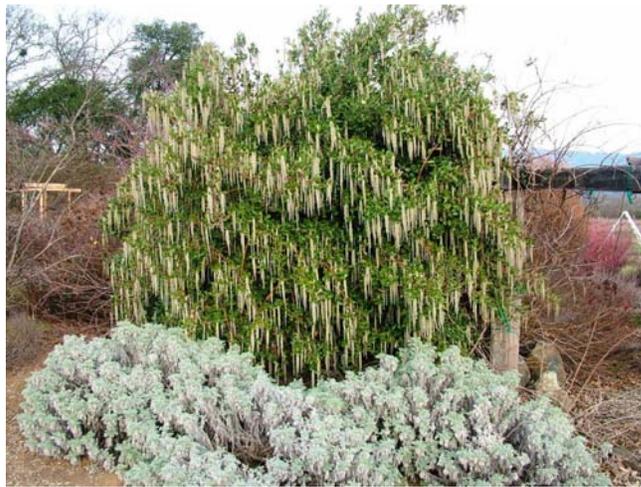
California fescue (*Festuca californica*)



Idaho fescue (*Festuca idahoensis*)



Oregon Ash (Autumn)
(*Fraxinus latifolia*)



Fremont's Silk Tassel (*Garrya fremontii*)



Toyon (*Heteromeles arbutifolia*)



Ocean Spray (*Holodiscus discolor*)



Purdy's or Douglas Iris (*Iris purdyi* (or) *douglasiana*)



Grey Rush (*Juncus patens*)



Rocky Mtn. Juniper (*Juniperus scopulorum*)



Sticky Monkey Flower (*Mimulus aurantiacus*)



Deergrass (*Muhlenbergia rigens*)



California Sword Fern
(*Polystichum californicum*)



Coast Live Oak (*Quercus agrifolia*)



Blue Oak (*Quercus douglasii*)



Valley Oak (*Quercus lobata*)



Creeping Sage (*Salvia sonomensis*)



Western Elderberry (*Sambucus Mexicana*)



Alkali Sacaton (*Sporobolus airoides*)



Narrow-leaf mule ears (*Wyethia angustifolia*)



February 4, 2016

Dear Mayor, City Manager, City Council Members and City Planning Commissioners,

We, the Furber family have been urged by many in the community to express our feelings about the proposed Grocery Outlet. We are asking the City Council and the City Planning Commissioners to reconsider the location for the potential Grocery Outlet.

Cloverdale residents deserve to have local options when it comes to grocery shopping. We support this idea. We are on the threshold of welcoming an organic grocery store in the center of town, and a new Dollar General. The addition of a Grocery Outlet is another possibility.

Locating Grocery Outlet at the south end of town will cause congestion in an already bustling part of the community. As you know the south end of town is a busy environment with Ray's, CVS, gas stations, and the multiple other shops. The addition of another grocery store in the proximity will create congestion.

We believe wise planning and attention to aesthetics is important for Cloverdale to thrive. Other communities have guidelines for the locations of competing businesses, allowing the opportunity for both to grow and succeed, and serve the public, while providing needed tax revenue. Cloverdale needs to incorporate this into its planning. We ask you to consider this protocol.

To risk reducing our community's tax revenue by approving a location certain to limit the success of both the existing, and the new business, is an unnecessary decision.

Thank you for your time and consideration,


Craig Furber, Owner/Partner


Alan M. Furber, Jr., Owner/Partner

To: David Kelley, Community Development Director
124 N. Cloverdale Blvd.
Cloverdale CA 95425
Cc: City Council members
Cloverdale Planning Commissioners

February 24, 2016

Re: Grocery Outlet Use Permit

Dear Mr Kelley,

Given the importance of ensuring that our city infrastructure remains appropriate as our city grows, we note that a significant new business plans to locate at the south end of Cloverdale Blvd.

We believe it is prudent to hold a public review of the use permit for this upcoming Grocery Outlet location, to include a design review, a site plan, and if necessary, an environmental review. As you know, it is key to ensure all infrastructures are in-place to support such a potentially busy business prior to signing-off the use permit. As such, we would appreciate a public hearing of said use permit.

We appreciate your attention to this matter.

Sincerely,

S. E. Nurse 

Susan and Steve Nurse
31400 Pine Mountain Road
Cloverdale, CA95425

City of Cloverdale
Community Development Department
Received

2-24-16

FEB 24 2016

Cloverdale Planning Commissioners
124 N. Cloverdale Blvd.
Cloverdale Ca 95425

February 21, 2016

Dear Commissioners:

As you study the Grocery Outlet application soon coming before you for approval of a new store on Treadway Drive, I'm writing to express one of the growing concerns of residents in its neighborhood: increased traffic congestion dangers.

We have expressed a similar concern in the past; but now, with the prospect of a major increase in congestion and the attendant safety risks to vehicles, bikes and pedestrians resulting from traffic to a large new store, we feel these dangers can no longer go unaddressed.

Today, even without a new store, South Cloverdale Blvd. and Treadway is an even busier intersection than it was when traffic concerns were raised in Public Comments during the update of the 2004 General Plan and even before Furber Plaza shopping center was home to a hotel and some of the current businesses.

Vehicles exiting the Shell Station on South Cloverdale Blvd. either don't see or ignore the "No left Turn sign" so that these exiting drivers frequently and seriously interfere with traffic heading north. To make matters worse, large trucks frequently illegally parked near Starbucks further obstruct drivers' views of oncoming traffic.

Traffic exiting the shopping center turning east onto Treadway is also faced with a similar problem from cars heading west on it, while drivers travelling east on Treadway are cut off by drivers turning south into a very busy Chevron Station.

Add to all of this the fact that increasing numbers of tourists and regional visitors are unfamiliar with both the exit and its neighborhood and we have a recipe for disaster.

The entire South Cloverdale Blvd. exit and retail neighborhood is long overdue for a formal traffic study. Meanwhile, increasing suggestions are being made for a signal light or other accident preventative on South Cloverdale Blvd. and Treadway.

Over the years, I have been very encouraged by how carefully and fairly our Planning Commissioners study all aspects of applications brought before you and so fully trust that, prior to approving the Grocery Outlet application, this and other concerns being raised by Cloverdale residents and businesses will be given your full review.

Sincerely,


Roz Katz (314 Laurel Court 669-0009)